

# Appraisal Report

## Vacant Land



Located:

**Southwest side of Boulder Highway,  
North of Nevada Avenue, Las Vegas, NV,  
89122**

Currently Owned By:

**Shane Demirjian**

Valuation Date:

**March 27, 2026**

Date of Report:

**April 21, 2026**

Assessor Parcel Numbers:

**161-27-203-011 to -014, 161-27-212-005 to  
-008 and 161-27-311-001**

Appraiser File Number:

**006-26**

# MATHEWS APPRAISAL

[www.mathewsappraisalinc.com](http://www.mathewsappraisalinc.com)





April 21, 2026

Ischel Meza  
Senior Office Specialist  
Department of Real Property Management  
Property Management and Acquisition Division  
500 South Grand Central Parkway, 4th Floor  
Las Vegas, NV 89115-1825

**Appraiser File #:** 006-26  
**RE:** Appraisal Report of Vacant Land Located on the Southwest Side of Boulder Highway, North of Nevada Avenue, Las Vegas, NV, 89122

Dear Ischel Meza:

In compliance with your request and authorization, I have prepared an appraisal of the vacant land located on the southwest side of Boulder Highway, north of Nevada Avenue, Las Vegas, Nevada. The property is identified as Assessor Parcel Numbers 161-27-203-011 to -014, 161-27-212-005 to -008 and 161-27-311-001. According to public records, the subject contains a net area of 2.76 acres, or 120,226 square feet.

The property is currently zoned Commercial General (CG) by Clark County, with a Corridor Mixed-Use (CM) planned land use. The overlying designations allow for a wide range of commercial uses, consistent with adjacent properties.

Paved access is available by way of Boulder Highway and Clark Street, and all normal public utilities are immediately available at the property. The property is bisected by a public alleyway and utility right-of-way.

Based on the data included in the body of this report I have concluded a fair market value of the fee simple interest, as of March 27, 2026, at:

**Two Million Four Hundred Five Thousand Dollars  
(\$2,405,000)**



This appraisal is intended to comply with the *Uniform Standards of Professional Appraisal Practice* (USPAP) as adopted by the Appraisal Foundation. This report is also intended to comply with the *Code of Professional Ethics of the Appraisal Institute*, and various appraisal reporting requirements of Clark County. The intended use is to assist the County in asset management purposes. Intended users include Clark County, and assignees.

This Letter of Transmittal must be used in conjunction with the following enclosed descriptive details, appraisal procedures and analysis and is not considered a report standing on its own merit.

Thank you for giving me the opportunity of appraising this property for you.

Sincerely,  
Mathews Appraisal

Chris Mathews, MAI  
Certified General Appraiser  
Nevada License № A.0205456-CG  
Expiration Date: August 31, 2026

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### **Addenda:**

Appraiser's Qualifications  
Acceptance of Proposal  
Title Report  
Preliminary Geotechnical Report  
Phase I Executive Summary  
Zoning Code Excerpt  
Public Record Information



## Summary of Salient Facts

### GENERAL

<b>Subject:</b>	Vacant land on the southwest side of Boulder Highway, north of Nevada Avenue, Las Vegas, Nevada, 89122.
<b>Assessor Parcel Numbers:</b>	161-27-203-011 to -014, 161-27-212-005 to -008 and 161-27-311-001
<b>Owner:</b>	Shane Demirjian
<b>Intended Use:</b>	Redevelopment Agency of Clark County for determination of fair market value
<b>Intended User(s):</b>	Clark County and assignees
<b>Site Area:</b>	According to public records, the subject site contains a net area of 2.76 acres, or 120,226 square feet.
<b>Zoning:</b>	The property is currently zoned Commercial General (CG) by Clark County, with a Corridor Mixed-Use (CM) planned land use. The overlying designations allow for a wide range of commercial uses, consistent with adjacent properties.
<b>Highest and Best Use:</b>	Commercial development
<b>Property Rights Appraised:</b>	Fee Simple Interest
<b>Type of Value:</b>	Market Value
<b>Date of Report:</b>	April 21, 2026
<b>Last Date of Inspection:</b>	March 27, 2026

### VALUE INDICATIONS

<b>Reconciled Value(s):</b>	<u><i>As Is Market Value</i></u>
Value Conclusion	\$2,405,000
Effective Date	March 27, 2026
Property Rights	Fee simple interest



- 
- Sale History:** According to public record information the subject is currently owned by Shane Demirjian. No arm's length transfers of the subject property have been identified over the course of the last three years from the date of valuation.
- Current Listing/Contract(s):** No active listings for the property are identified. The site was previously marketed for sale at an undisclosed price, and an old "for sale" sign remains. I am not aware of any current offers or pending transactions involving the property.
- Marketing/Exposure Time:** Comparable properties have had typical marketing and exposure times of less than twelve months, and this is deemed reasonable for the subject property.
- Most Probable Buyer:** The most probable buyer would be a developer.



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## Definitions

### **Assignment, Defined:**

- An agreement between an appraiser and a client to provide a valuation service;
- The valuation service that is provided as a consequence of such an agreement.

### **Client, Defined:**

The party or parties who engage an appraiser (by employment or contract) in a specific assignment.

Comment:

The client identified by the appraiser in an appraisal, appraisal review, or appraisal consulting assignment (or in the assignment work file) is the party or parties with whom the appraiser has an appraiser-client relationship in the related assignment and may be an individual, group or entity.

### **Easement:**

The right to use another's land for a stated purpose.

### **Extraordinary Assumption:**

An assumption, directly related to a specific assignment, as of the effective date of the assignment results, which, if found to be false, could alter the appraiser's opinions or conclusions.

Comment:

Extraordinary assumptions presume as fact otherwise uncertain information about physical, legal, or economic characteristics of the subject property; or about conditions external to the property, such as market conditions or trends; or about the integrity of data used in an analysis.

### **Highest and Best Use, Defined:**

The highest and most profitable use for which the property is adaptable and needed or likely to be needed in the reasonably near future. (UASFLA 4.3.1)

### **Hypothetical Condition, Defined:**

A condition, directly related to a specific assignment, which is contrary to what is known by the appraiser to exist on the effective date of the assignment results, but is used for the purpose of analysis.

Comment:

Hypothetical conditions are contrary to known facts about physical, legal, or economic characteristics of the subject property: or about conditions external to the property, such as market conditions or trends: or about the integrity of data used in an analysis.



**Intended Use, Defined:**

The use or uses of an appraiser's reported appraisal, appraisal review or appraisal consulting assignment opinions and conclusions, as identified by the appraiser based on communication with the client at the time of the assignment.

**Intended User, Defined:**

The client and any other party as identified by name or type, as users of the appraisal, appraisal review or appraisal consulting report by the appraiser on the basis of communication with the client at the time of the assignment.

**Market Value, Defined:**

The amount in cash, or on terms reasonably equivalent to cash, for which in all probability the property would have sold on the effective date of value, after a reasonable exposure time on the open competitive market, from a willing and reasonably knowledgeable seller to a willing and reasonably knowledgeable buyer, with neither compelled to buy or sell, giving due consideration to all available economic uses of the property.<sup>1</sup>

**Scope of Work, Defined:**

The type and extent of research and analyses in an assignment.

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<sup>1</sup> Interagency Land Acquisition Conference, Uniform Appraisal Standards for Federal Land Acquisitions 2016, Section 4.2.1



## Scope of Work

This appraisal is prepared for Clark County, who is the client. The problem to be solved is to develop an opinion of the *as is* market value of the fee simple interest. The intended use is to assist in asset management purposes. This appraisal is intended for the use of Clark County and assignees.

**Property Identification:** The subject property is the vacant land identified as Clark County Assessor parcel numbers 161-27-203-011 to -014, 161-27-212-005 to -008 and 161-27-311-001.

**Inspection:** A complete inspection of the subject property has been made, and photographs have been taken.

**Market Area and Analysis of Market Conditions:** A complete analysis of market conditions has been made. I have access to databases for this market area and have reviewed the market for sales and listings relevant to this analysis.

**Highest and Best Use Analysis:** A complete *as vacant* highest and best use analysis for the subject property has been made. Physically possible, legally permissible, and financially feasible uses were considered, and the maximally productive use was concluded.

**Type of Value:** *As Is* Market Value

### **Valuation Analyses**

**Cost Approach:** A cost approach was not applied as the property is vacant land and this approach is not applicable.

**Sales Comparison Approach:** The sales comparison approach was applied as there is adequate data to develop a value estimate, and this approach reflects market behavior for this property type.

**Income Approach:** An income approach was not applied as most market participants would not consider an income analysis.

**Hypothetical Conditions:** None

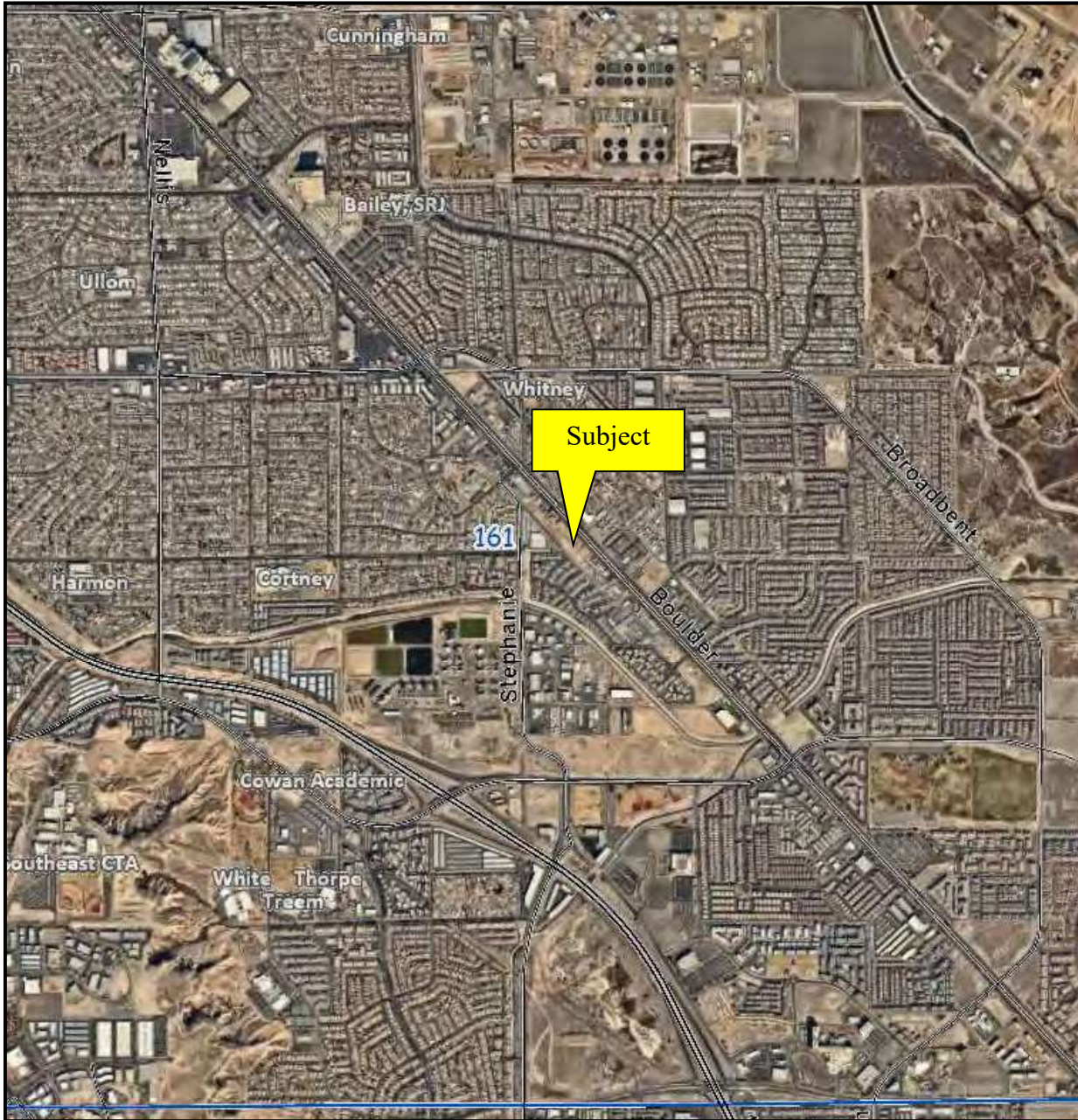
**Extraordinary Assumptions:** None



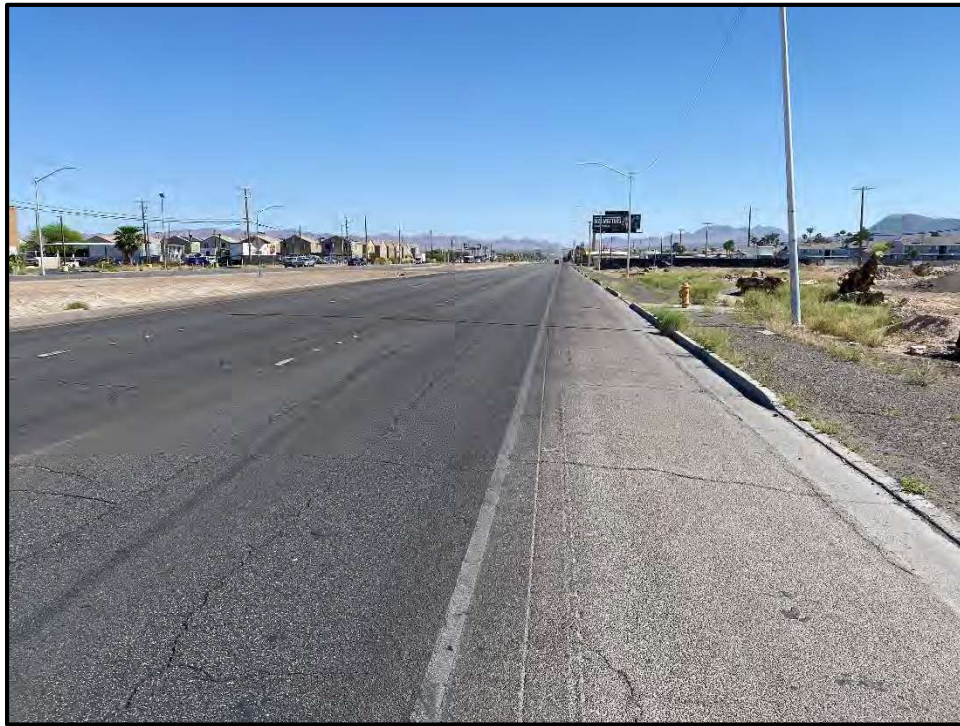
Subject Aerial Photograph:



Neighborhood Aerial Photograph:



### Subject Photographs



1. Street scene looking southeasterly along Boulder Highway. A portion of the subject can be seen in the right foreground.



2. Street scene looking northerly along Boulder Highway. A portion of the subject can be seen in the left foreground.



## Subject Photographs, continued



3. Street scene looking southeasterly along Clark Street. A portion of the subject can be seen in the left foreground.



4. Street scene looking northwesterly along Clark Street. A portion of the subject can be seen in the right foreground.



### Subject Photographs, continued



5. View looking northwesterly along the public alleyway/utility right-of-way that bisects the property.



6. View looking southeasterly along the public alleyway/utility right-of-way that bisects the property.



**Subject Photographs, continued**



7. View looking northeasterly along the alignment of Nevada Avenue. A portion of the subject can be seen to the left.



8. View looking southwesterly along a portion of the northwestern boundary.



### Subject Photographs, continued



9. View looking southerly at the property.



10. View looking southeasterly along the portion of the property that fronts Boulder Highway.



**Subject Photographs, continued**



11. View looking northwesterly along the portion of the property that fronts Boulder Highway.



12. View looking westerly at the property.



**Subject Photographs, continued**



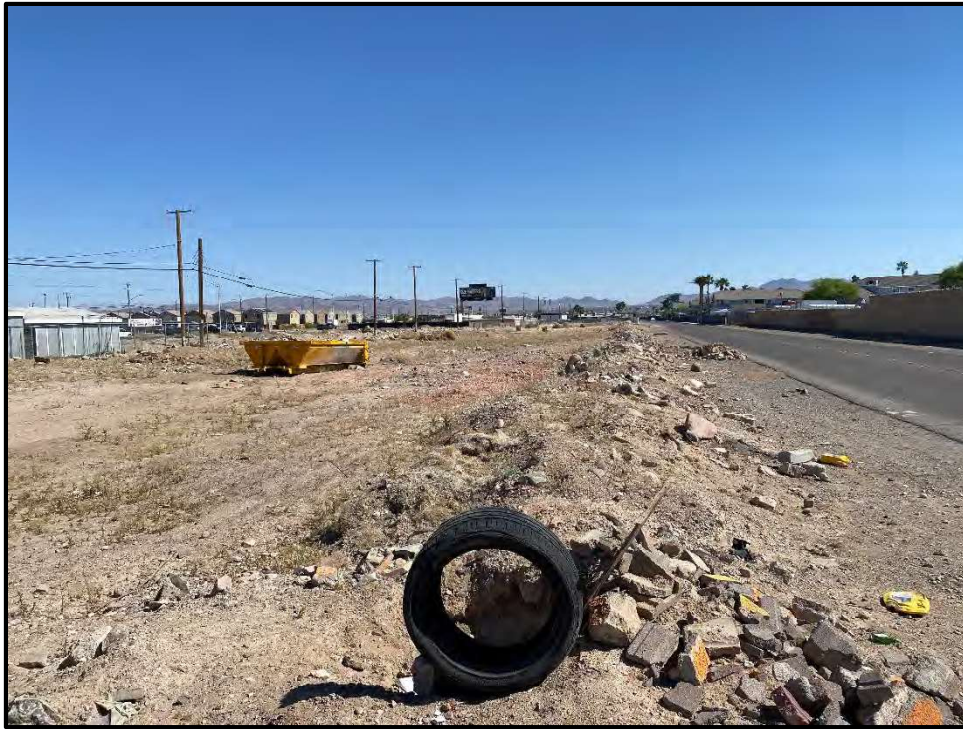
13. View looking southeasterly along a portion of the southeastern boundary.



14. View looking northwesterly along a portion of the southwestern boundary.



### Subject Photographs, continued



15. View looking southeasterly along a portion of the southwestern boundary.



16. View looking easterly at the most northern portion of the property.



## Subject Parcel Description

SITE	
Assessor Parcel Numbers:	161-27-203-011 to -014, 161-27-212-005 to -008 and 161-27-311-001
Location/Access:	The subject is located on the southwest side of Boulder Highway, north of Nevada Avenue, Las Vegas, Nevada. The property is also bordered to the southwest by Clark Street. The portion of Boulder Highway that borders the property is fully improved. The portion of Clark Street that borders the property is partially asphalt paved, and the alignment of Nevada Avenue is unimproved.
Current Use of the Parcel:	Vacant land
Land Area:	According to public records, the subject site contains a net area of 2.76 acres, or 120,226 square feet.
Shape:	As identified in the aerial photograph included earlier in this report, the subject parcel is of irregular shape, bisected by a public alleyway/utility right-of-way.
Topography:	Level
Soil Conditions:	According to a preliminary geotechnical investigation report performed by Arroyo Engineering Consultants, Inc., dated January 8, 2026, the subject site was previously improved and is suitable for future improvements. This report also indicates that uncontrolled fill exists that would require removal/processing prior to use. The soil conditions observed at the subject appear to be typical of the region and are assumed adequate to support normal development.
Environmental Issues:	<p>Based on the Phase I environmental site assessment completed by SCS Engineers, dated January 2, 2026, no recognized environmental conditions (RECs), controlled recognized environmental conditions (CRECs), historical recognized environmental conditions (HRECs), or significant data gaps in connection with the property are identified. They do not recommend further investigation.</p> <p>There is no known or observed adverse environmental conditions at the subject property. Please reference Limiting Conditions and Assumptions regarding environmental assumptions.</p>



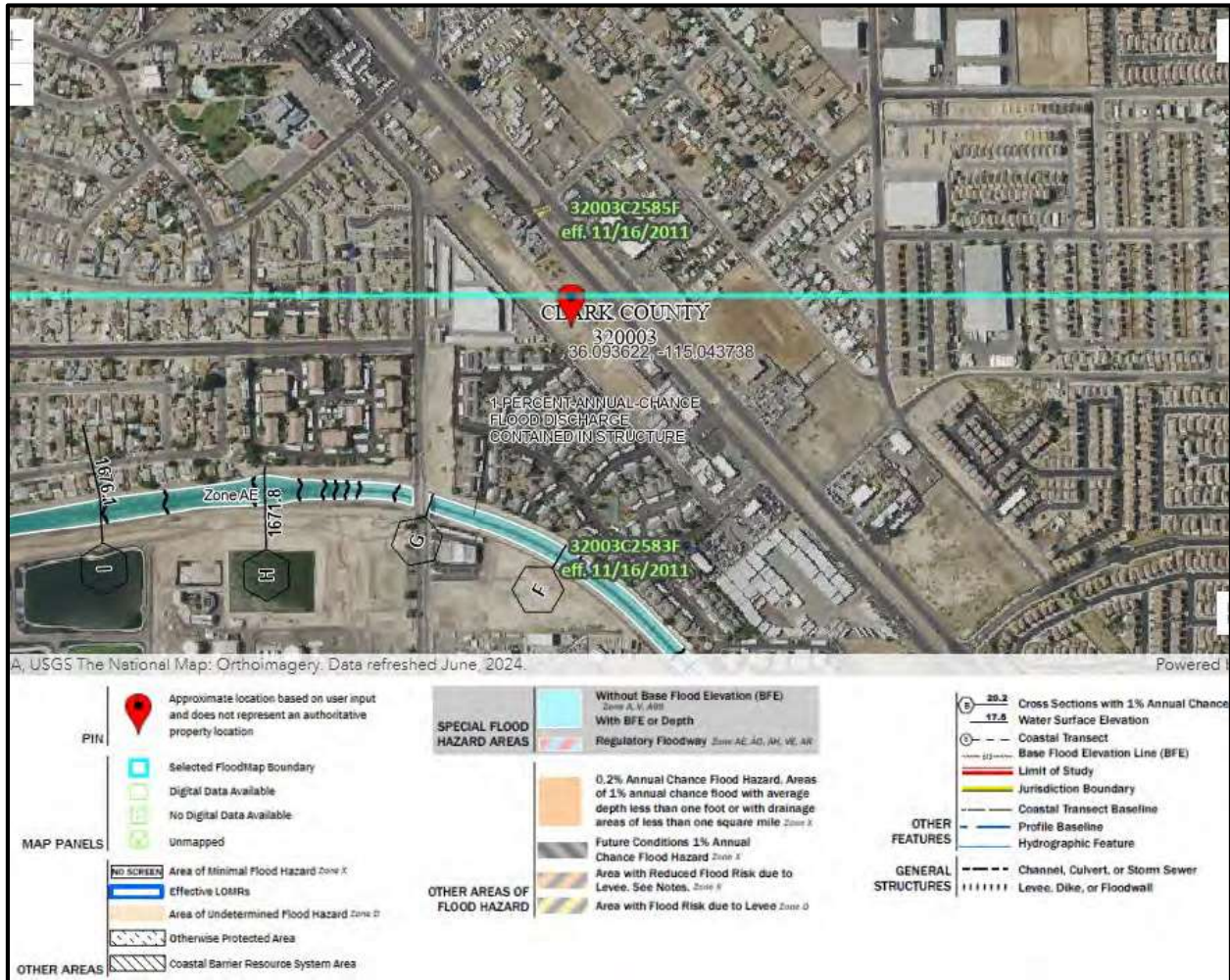
Utilities: All normal public utilities are immediately available in the adjacent streets.

Legal Description: The subject is identified as Lots Nine (9), Ten (10), Eleven (11), Twelve (12), Thirteen (13) and Fourteen (14), Fifteen (15) and Sixteen (16) in Block One (1) of CARTER BUNCH SUBDIVISION, as shown by map thereof on file in Book 2 of Plats, Page 74, in the Office of the County Recorder of Clark County, Nevada.

Encumbrances: No unusual encumbrances are identified.



# Flood Map



FEMA Map Numbers 32003C25830F and 32003C2585F

FEMA Map Date November 16, 2011

Flood Zone Comments: The subject property is located in Zone X, with a 0.2% annual chance of flood hazard, as mapped by the Federal Emergency Management Agency (FEMA), which is not classified as a flood hazard area, and the property is outside of a 100-year flood plain.



## Subject Assessment and Taxes

**Taxing Authority** Clark County  
**Assessment Year** 2026

The following tax information is reported for the assessor parcel:

### Tax Info for APNs: 161-27-203-011 to -014, 161-27-212-005 to -008 & 161-27-311-001

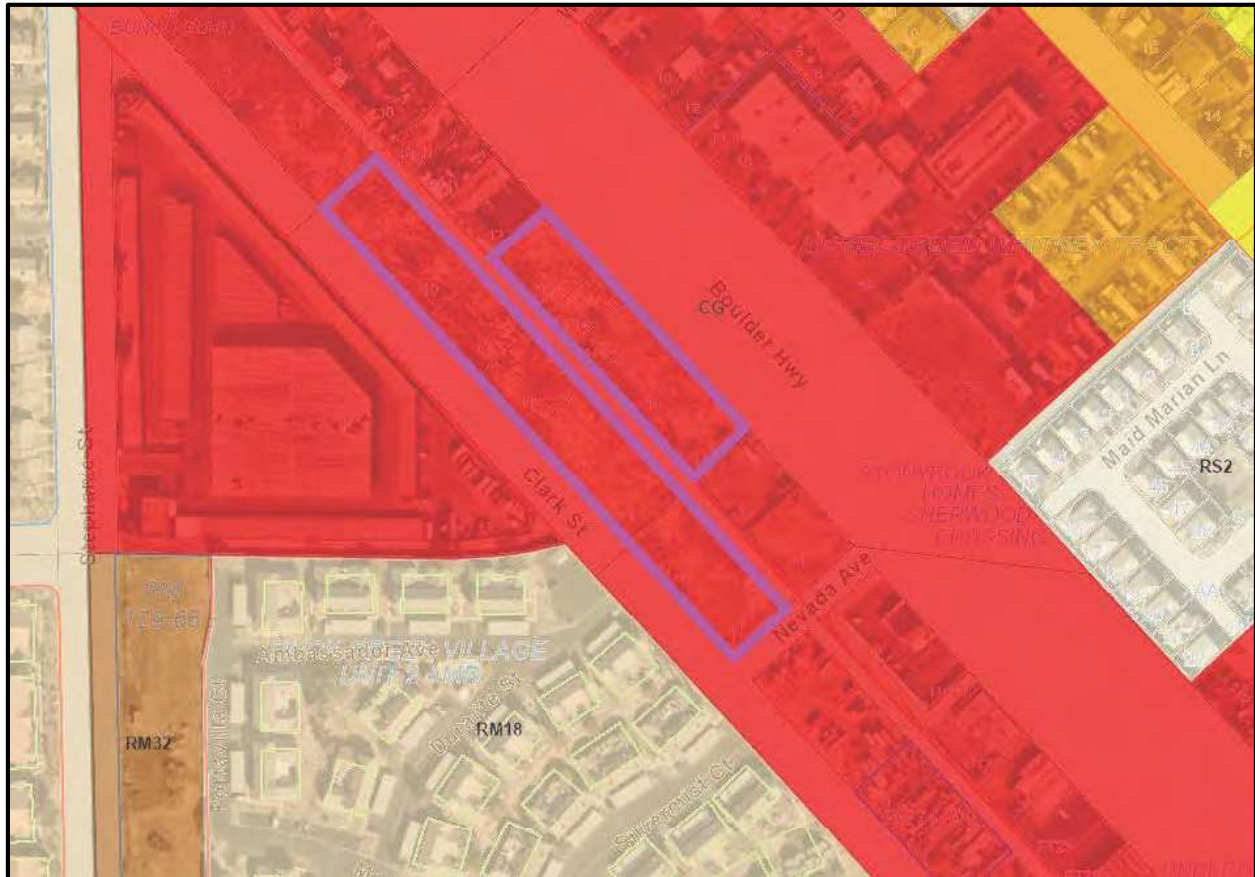
APN	161-27-203-011	161-27-203-012	161-27-203-013	161-27-203-014	161-27-212-005	161-27-212-006	161-27-212-007	161-27-212-008	161-27-311-001	Total
Land	33,541	16,772	16,772	70,133	57,324	29,271	29,271	54,886	56,106	<b>364,076</b>
Improvements	0	0	0	0	0	0	0	0	0	<b>0</b>
Total Assessed Value	33,541	16,772	16,772	70,133	57,324	29,271	29,271	54,886	56,106	<b>364,076</b>
Tax Rate per \$100 Assessed	2.9328	2.9328	2.9328	2.9328	2.9328	2.9328	2.9328	2.9328	2.9328	<b>2.9328</b>
Real Estate Taxes as Assessed	983.69	491.89	491.89	2,056.86	1,681.20	858.46	858.46	1,609.70	1,645.48	<b>10,677.62</b>
Less Cap Reduction	143.98	72.00	72.00	301.02	246.06	125.63	125.63	235.59	240.81	<b>1,562.72</b>
Net Real Estate Taxes 2026	839.71	419.89	419.89	1,755.84	1,435.14	732.83	732.83	1,374.11	1,404.67	<b>9,114.90</b>

### Comments

Nevada legislation restricts real estate tax increases, based on a maximum of 8%; resulting in the above cap reductions.



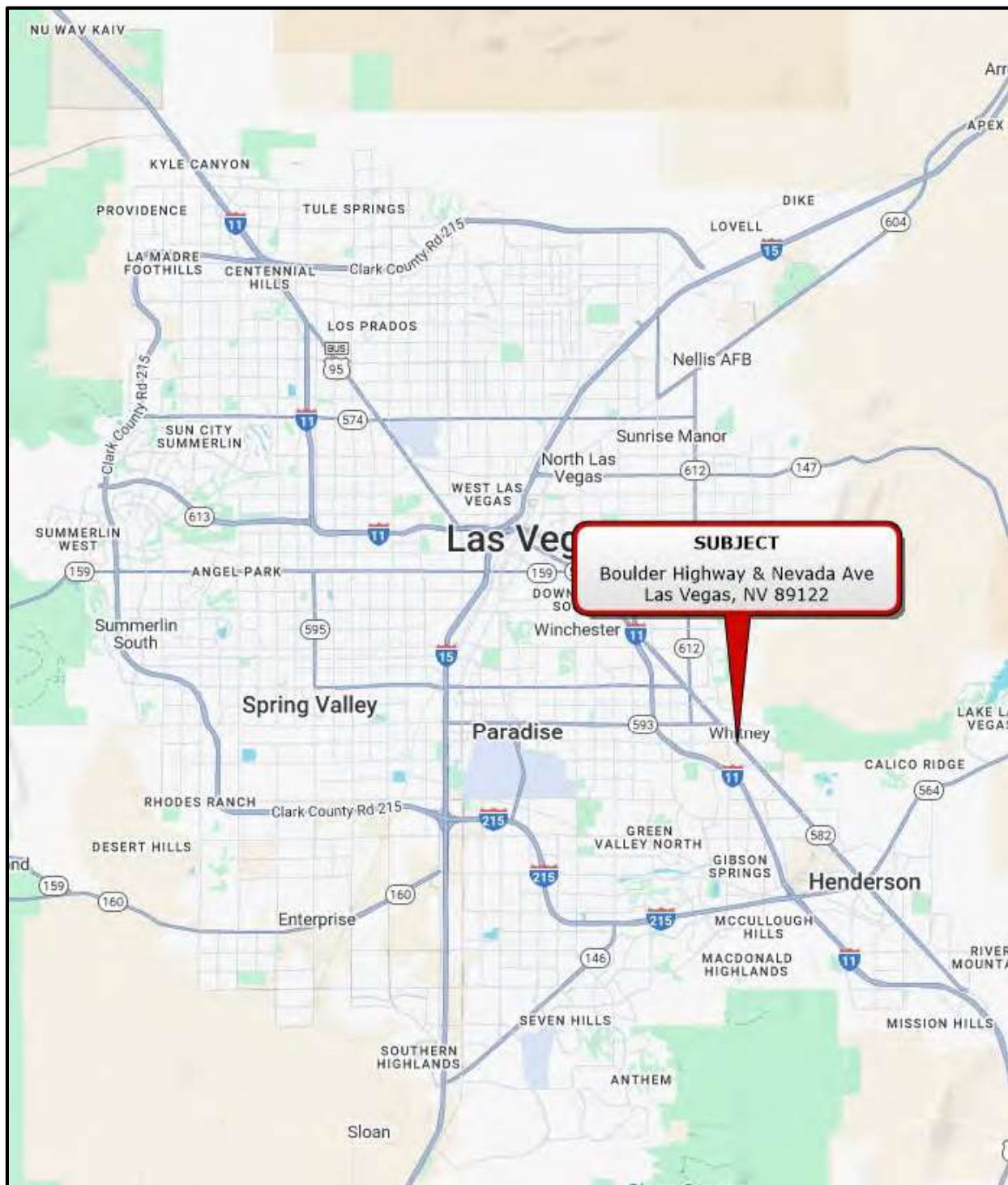
## Zoning



Zoning Code	Commercial General (CG), Clark County.
Planned Land Use	Corridor Mixed-Use (CM), Clark County
Overlay District:	NA
Zoning Description	The CG district is established to accommodate auto-oriented commercial uses.
Zoning Comments	The property is currently zoned Commercial General (CG) by Clark County, with a Corridor Mixed-Use (CM) planned land use. The overlying designations allow for a wide range of commercial uses, consistent with adjacent properties.



# Las Vegas Area Location Map



## Description of Market Area - Las Vegas Area Analysis

Clark County comprises the most southern portion of Nevada. It is the most populous county in the state, accounting for 73% of the population. The majority of urbanization in the 8,012 square miles of Clark County has occurred within the Las Vegas area.

### Population

Clark County has historically grown at a rapid rate. From 2000 when the population was 1,360,496 to present day, Clark County has seen an approximate 78% increase in total population.

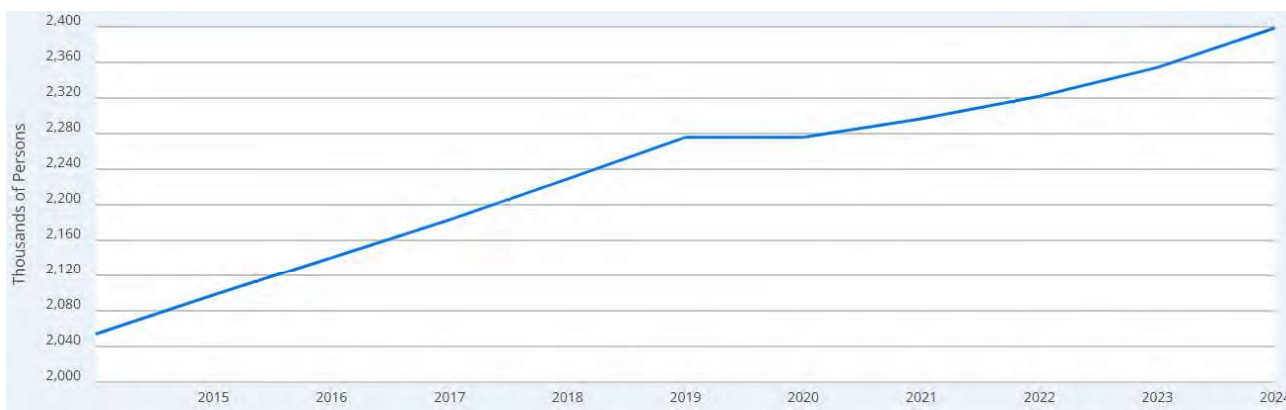
The 2024 Clark County population of 2,421,685 is an increase of 50,099 from the 2023 population of 2,371,586.

Approximately 97% of Clark County residents are in the greater Las Vegas area. Las Vegas has generally experienced positive population growth over recent decades.

Population Distribution (2024)	
City/Area	Population
Henderson	354,961
Las Vegas	681,397
North Las Vegas	290,144
Unincorporated Clark County	1,056,310
Boulder City	15,010
Mesquite	23,862
<b>Total Clark County Population 2024</b>	<b>2,421,685</b>

*Source: Clark County Comprehensive Planning*

### Clark County Population

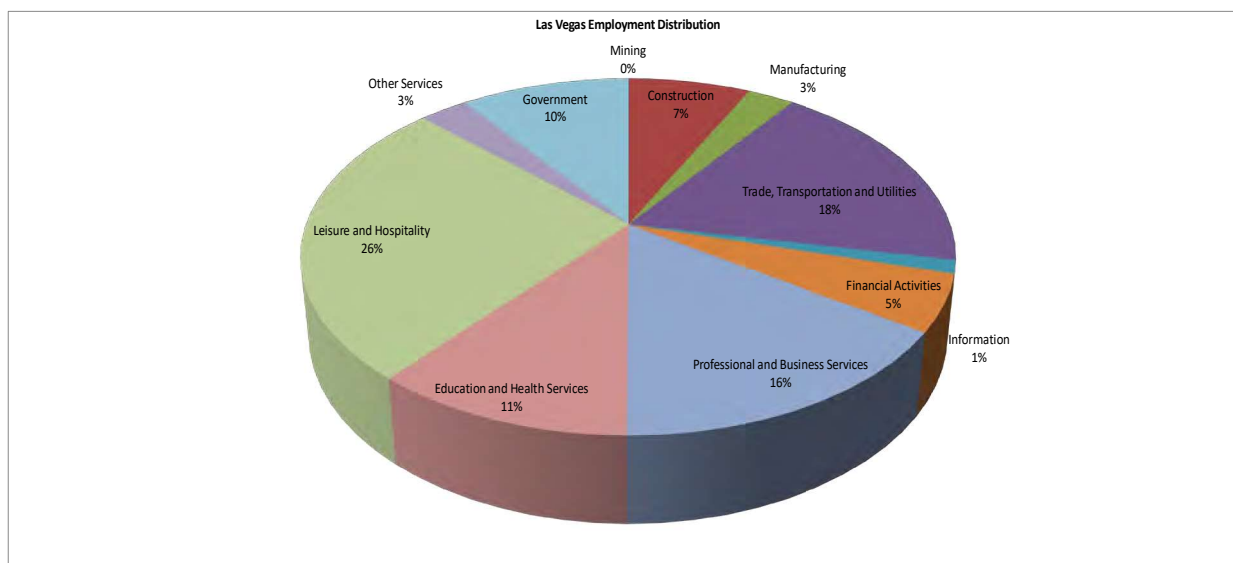


Source: Federal Reserve



## Economy

The economic base of the area is dominated by the tourist/service industries, trade industries, professional services, construction industry, and governmental/municipal agencies, including substantial military base employment. According to the US Bureau of Labor Statistics the total Las Vegas area labor force reported for March 2025 is 1,241,500. The largest employment sector is the leisure and hospitality industry which includes tourism-related employment. This sector includes jobs related to arts and entertainment, hotel/gaming and recreation, and food service, and accounts for 26% of the total employment in Las Vegas. Employment distribution is illustrated in the following chart:



Source: Nevada Workforce Informer

Due to the Las Vegas economy reliance on the tourism industry, the COVID-19 pandemic significantly impacted employment in the area. The unemployment rate increased from 4.3% reported in February 2020, to 34.0% reported in April 2020; however, since that time unemployment has declined significantly to 6.0% reported in July 2025. Unemployment in the area has been stable since 2022.



**Clark County Visitor Volume:**

Year	Volume	Change
2004	37,388,781	
2005	38,566,717	3.15%
2006	38,914,889	0.90%
2007	39,196,761	0.72%
2008	37,481,552	-4.38%
2009	36,351,469	-3.02%
2010	37,335,436	2.71%
2011	38,928,708	4.27%
2012	39,727,022	2.05%
2013	39,668,216	-0.15%
2014	41,126,512	3.68%
2015	42,636,489	3.67%
2016	42,936,489	0.70%
2017	42,208,200	-1.70%
2018	42,116,800	-0.22%
2019	42,523,700	0.97%
2020	19,031,100	-55.25%
2021	32,230,600	69.36%
2022	38,829,300	20.47%
2023	40,829,900	5.15%
2024	41,676,300	2.07%

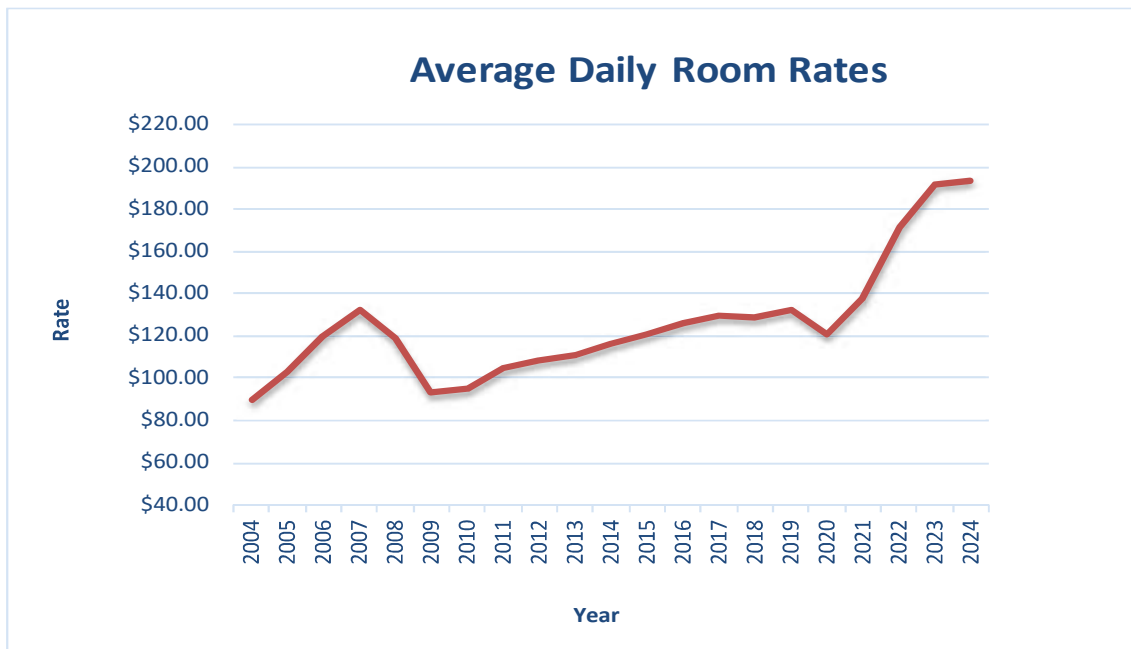


Source: Las Vegas Convention and Visitors Authority



**Clark County Average Daily Room Rates:**

Year	Rate	Change
2004	\$89.78	
2005	\$103.12	14.86%
2006	\$119.66	16.04%
2007	\$132.09	10.39%
2008	\$119.19	-9.77%
2009	\$92.93	-22.03%
2010	\$94.91	2.13%
2011	\$105.11	10.75%
2012	\$108.08	2.83%
2013	\$110.72	2.44%
2014	\$116.73	5.43%
2015	\$120.99	3.65%
2016	\$125.96	4.11%
2017	\$129.41	2.74%
2018	\$128.85	-0.43%
2019	\$132.62	2.93%
2020	\$120.31	-9.28%
2021	\$137.37	14.18%
2022	\$170.98	24.47%
2023	\$191.29	11.88%
2024	\$193.16	0.98%



Source: Las Vegas Convention and Visitors Authority



### Clark County Tourism Summary

As can be seen from the preceding charts, market conditions within the Clark County tourism industry declined dramatically from 2007 through 2009; however, from that time through 2019 market conditions improved significantly. The visitor count for 2019, of 42,523,700, was near the all-time high, of 42,936,109, reached in 2016. The COVID-19 pandemic caused significant adverse effects for the Clark County tourism market, and the visitor volume and other tourism metrics for 2020 were far below previous years. However, the Clark County tourism industry has improved significantly as the health risks associated with the pandemic were resolved. The visitor volume over the past two years is marginally below the peak reach in 2019. The average daily room rates for 2023 and 2024 were new record highs.

### Las Vegas Valley Housing

The following charts illustrate Las Vegas housing market trends based on information from the U.S. FHFA, Realtor.com, and the U.S. Census Bureau.

#### Las Vegas Housing Price Index



#### Las Vegas Single Family Homes Median Days on Market



## Las Vegas New Home Permits



## Las Vegas Housing Supply

According to the ESRI ACS Housing Summary report, a total of 713,571 residential units currently exists within the Las Vegas area, which includes single-family units, condominium/townhomes, apartment units, and mobile homes. In 2024 a total of 13,350 new homes permits were issued, which is consistent with the 13,078 permits issued in 2023 and the 13,081 permits issued in 2022. Through the first six months of 2025, 7,427 permits have been issued which is consistent with the first six months of 2024. Current residential construction activity remains well below the peak of 39,200 units in 2005; however, since 2016 new home construction activity has been relatively stable, ranging from 11,460 to 16,442 units annually.

## Las Vegas Housing Demand

Since the housing crash that occurred between 2007 and 2010, developers have re-launched master planned communities such as Inspirada, Skye Canyon, Cadence, and The Villages at Tule Springs. Home builders are being much more cautious, and are limiting speculative development, relative to that experienced prior to the housing market crash. Due to an increase in interest rates existing residential sales volume has declined from the high reached in 2022; however, prices continue trending upward.

## Las Vegas Housing Prices

Median home prices in the Las Vegas area have increased significantly since 2012. Between January and June 2023 median prices declined by approximately 5%; however, prices have since recovered to reach new highs. The FHFA Metropolitan Area House Price Indexes for the 2<sup>nd</sup> Quarter 2025 indicates a 2.09% increase in home prices in Las Vegas over the past year, and a 55.83% increase over the past five years.



**Summary of Las Vegas Housing Market**

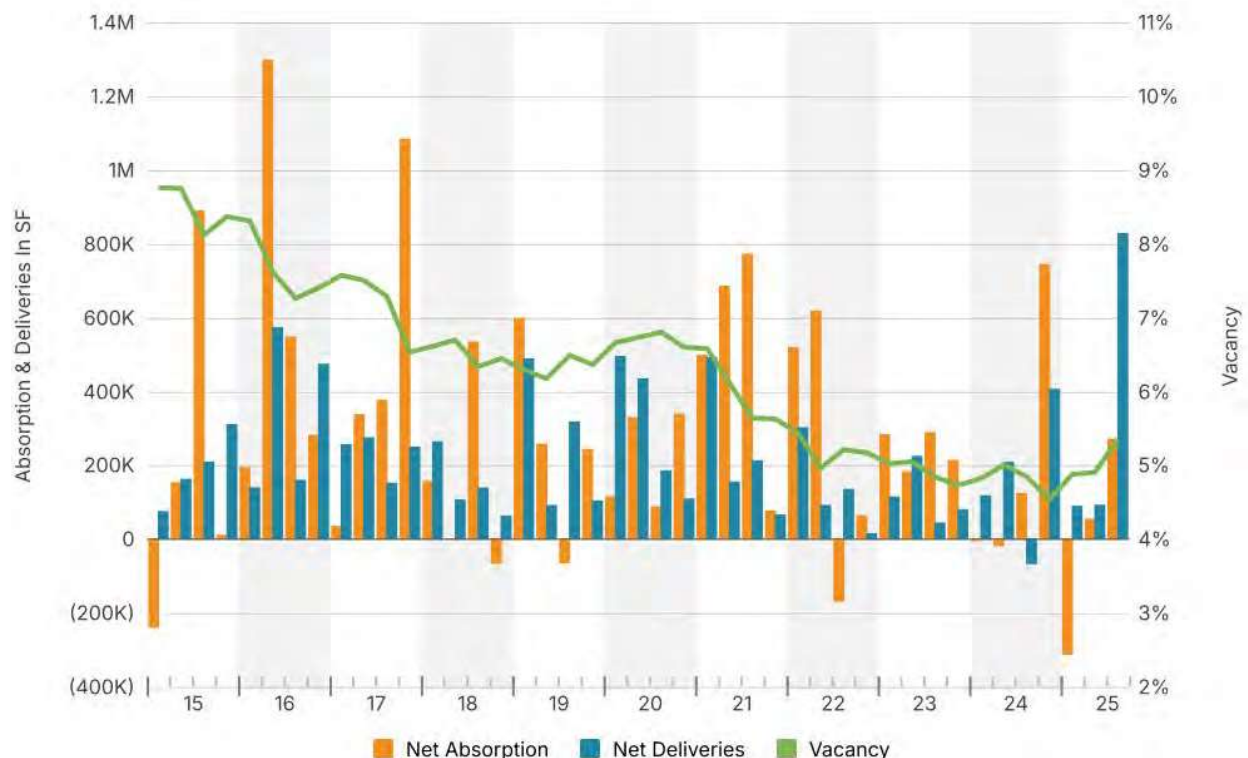
The Las Vegas housing market has experienced significant improvements since 2012; however, due to an increase in interest rates existing residential sales volume has declined from the high reached in 2022. The current average national 30-year mortgage rate is 6.30%, which is well above the low of 2.65% reached in January 2021, however, it is down from the peak of 7.79% reached in October 2023. The long-term outlook for the Las Vegas housing market continues to be positive.



## Las Vegas Retail Market

The following charts identify current and historic: inventories, vacancies, absorption, deliveries, and rental rates for the Las Vegas retail market since 2015, based on information gathered from CoStar. Following the discussion of the Las Vegas retail market, is a discussion of the neighborhood retail market.

### Las Vegas Retail Market Absorption/Deliveries/Vacancy Chart



### Las Vegas Retail Supply

The total retail inventory in the Las Vegas area is 120 million square feet. Net retail deliveries for 2025 reached the highest level since 2016. Approximately 967,000 square feet of new space is currently under construction.

### Las Vegas Retail Demand

The current average vacancy rate for retail space is 5.1%. Retail vacancies have been stable over the past three years.



## Las Vegas Retail Market Occupancy/Rental Rate Chart



### Las Vegas Retail Rental Rates

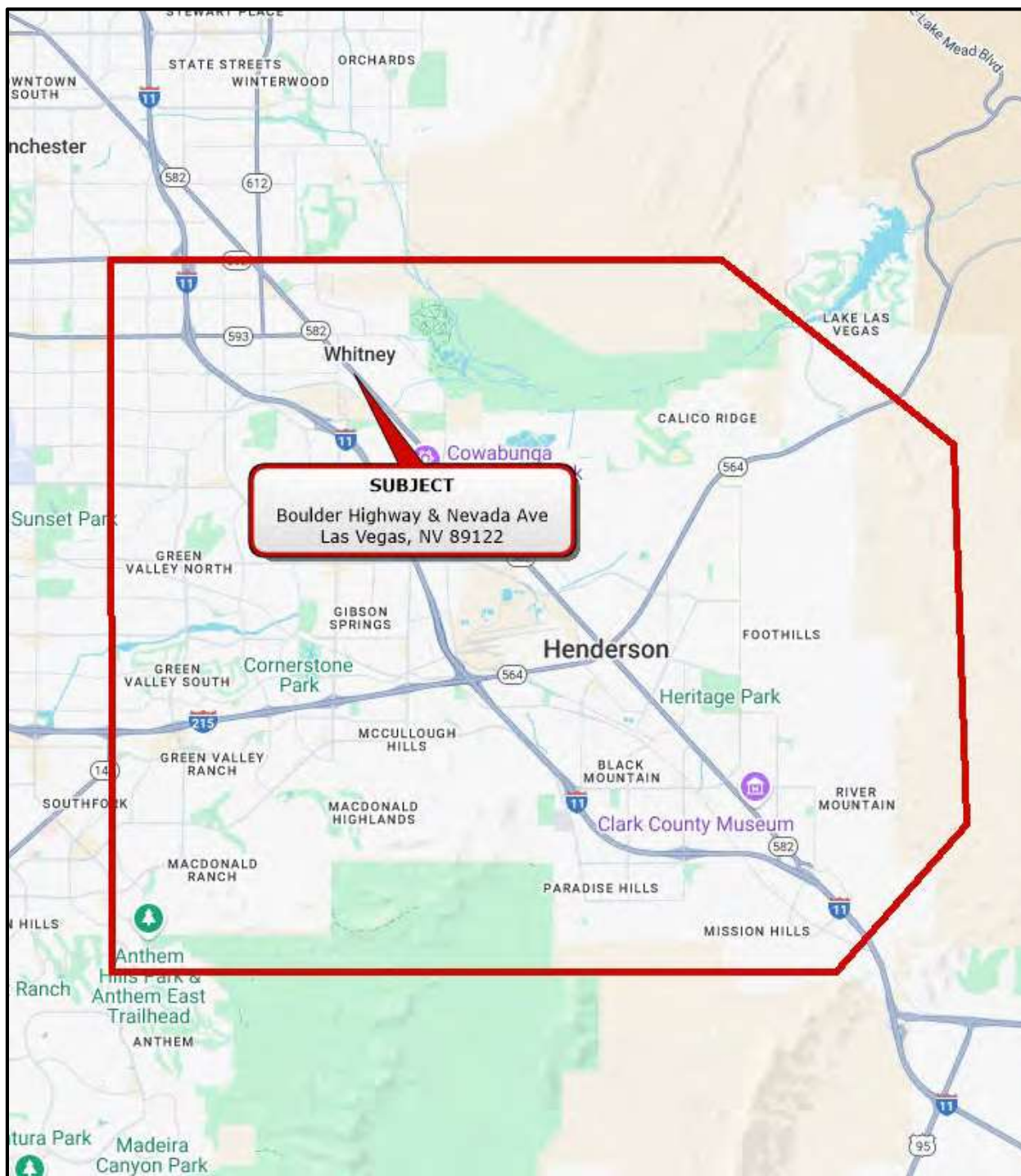
Rental rates have increased significantly over the past ten years; however, they have been relatively flat over the past year. The current average asking rental rate for retail properties within Las Vegas is reported at \$2.83 per square foot, per month.

### Summary of Las Vegas Retail Market

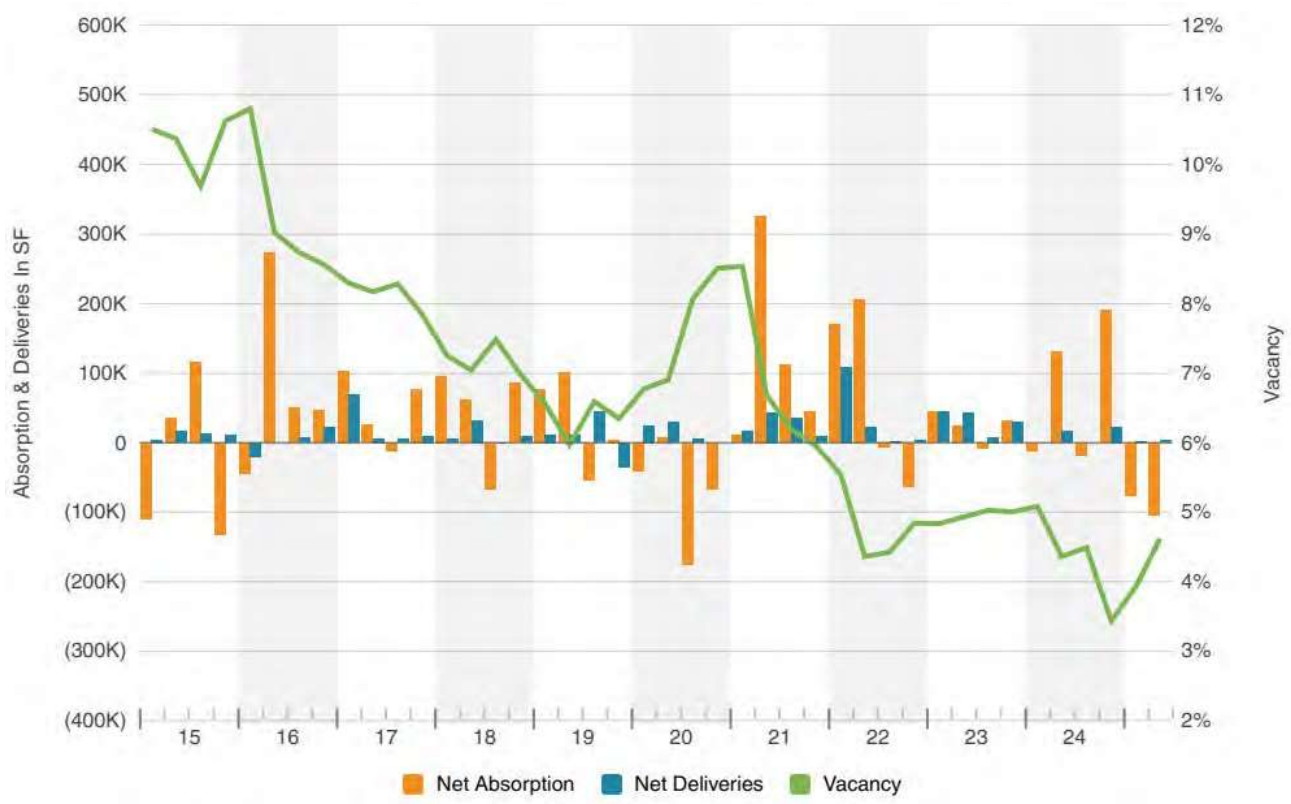
The Las Vegas retail market conditions have improved significantly over the past ten years, and over the past two years Las Vegas retail market conditions have been stable.



### Submarket Location Map



### Submarket Retail Absorption/Deliveries/Vacancy Chart



### Submarket Retail Supply

The retail inventory in the subject’s neighborhood is identified at 16 million square feet. Since 2022 supply and demand have been relatively stable. Currently 93,000 square feet of new retail space is under construction in the area.

### Submarket Retail Demand

Over the past three years, new construction has generally kept paced with demand. The average vacancy rate is reported at 4.4%, which is slightly below the Las Vegas average of 5.1%.



### Submarket Retail Vacancy/Rental Rate Chart



### Neighborhood Retail Rental Rates

Rental rates within the subject's neighborhood have been increasing steadily since 2014. The average monthly rental rate in the neighborhood is identified at \$2.46 per square foot, which is modestly below the Las Vegas average of \$2.83 per square foot. Over the past year rental rates have been stable.



## Submarket Area Description

The subject's neighborhood includes the most southeastern portion of the Las Vegas metropolitan area, generally south of Flamingo Road and east of Eastern Avenue. This area includes portions of older Henderson proper, as well as newer developing areas.

The most recent development in the City of Henderson has occurred in various master planned communities such as Green Valley, Seven Hills, MacDonald Ranch, Anthem, Tuscany, Lake Las Vegas, Cadence, and others. New developments and redevelopment have also occurred in the downtown Henderson area.

Boulder Highway is a primary northwest/southeast thoroughfare in the eastern part of the Las Vegas metropolitan area and extends through the subject's market area. This was the original highway providing access into Las Vegas from Arizona and Hoover Dam, which has since been bypassed by U.S. Highway 95. Boulder Highway remains a substantial commercial corridor and commuter route.

U.S. Highway 95 is a primary freeway into the Las Vegas area. This expressway provides direct access into the Las Vegas Central Business District and extends into the northwest portion of the Las Vegas valley. A full freeway interchange exists where Lake Mead Parkway intersects with U.S. Highway 95 and converges with the 215 Beltway. Full freeway interchanges also exist at other major intersections.

Lake Mead Parkway is one of the primary east/west thoroughfares in the area. This road extends easterly providing access to downtown Henderson, Lake Las Vegas and eventually leading to the Lake Mead National Recreation Area. Large commercial developments such as a Wal-Mart anchored shopping center, an Albertson's anchored shopping center, and a Target anchored shopping center exist along Lake Mead Parkway. Other smaller commercial developments also exist along Lake Mead Parkway.

Galleria Drive is an emerging east/west thoroughfare. An interchange with US Highway 95 was completed in 2009, and Galleria Drive has been extended easterly, to provide access to three active master planned communities, identified as Lake Las Vegas, Tuscany, and Cadence.

Major north/south thoroughfares in the western portion of the subject's market area include Eastern Avenue, Green Valley Parkway, Valle Verde Drive and Stephanie Street. Access into the market area is convenient as the 215 Beltway bisects the southern portion of the market area in an east/west direction.

The Galleria Mall, and the Sunset Station Hotel and Casino, exist in the heavily commercialized district in the vicinity of U.S. Highway 95 and Sunset Road. The East Valley Auto Mall also exists nearby, along Gibson Road. Most automobile manufacturers are represented in this large multi-tenant automobile sales district.

A major development at the northeast corner of Galleria Drive and US Highway 95, identified as Union Village, was recently completed. This \$1.2 billion project is situated on 170 acres. A



centerpiece for this development is the recently constructed 170-bed Henderson Hospital, which was completed in October 2016. An adjacent 83,000-square foot medical office building exists. Residential and commercial uses are also planned for Union Village.

Other employment centers in the area include large heavy manufacturing facilities, such as Timet Titanium, located near the intersection of Lake Mead Parkway and US Highway 95.

Located along Water Street, south of Lake Mead Parkway, is the Henderson downtown redevelopment area. The City of Henderson has established future land use guidelines for the redevelopment area and sections of older downtown residential housing have been designated for future downtown commercial development. Several retail and mixed-use developments have been constructed in the area. Also located in the downtown Henderson area are governmental buildings such as the Henderson Police Department, the Henderson City Courthouse, the James Gibson Library, the Henderson City Hall, and the Henderson Convention Center.

The subject property is located near the northern boundary of the City of Henderson, within unincorporated Clark County. The adjacent properties that front Boulder Highway include: an older motel, used car sale lots, an auto collision center, and other commercial properties. Adjacent west is a self-storage facility and a residential condominium development.

As will be discussed in the Economically Feasible section of this report, market conditions for most realty types within the Las Vegas area are relatively stable and it is my opinion that the long-term outlook for Las Vegas and the subject's market area remains positive.



## Highest and Best Use

Highest and best use may be defined as the reasonably probable and legal use of vacant land or improved property, which is physically possible, appropriately supported, financially feasible, and that results in the highest value.

1. **Legally Permissible:** What uses are permitted by zoning and other legal restrictions?
2. **Physically Possible:** To what use is the site physically adaptable?
3. **Financially Feasible:** Which possible and permissible use will produce any net return to the owner of the site?
4. **Maximally Productive:** Among the feasible uses which use will produce the highest net return, (i.e., the highest present worth)?

### Legally Permissible

The property is currently zoned Commercial General (CG) by Clark County, with a Corridor Mixed-Use (CM) planned land use. The overlying designations allow for a wide range of commercial uses, consistent with adjacent properties, and commercial development is considered to be legally permissible.

### Physically Possible

The subject contains a net area of approximately 2.76 acres, or 120,226 square feet, and has a relatively level topography. Paved access is available from Boulder Highway and Clark Street. All normal public utilities are immediately available. The physical attributes of the property would allow for a wide range of commercial development.

### Economically Feasible/ Maximally Productive Use

As discussed in the Market Area Analysis section, commercial market conditions have stabilized over recent years, with average occupancies and rental rates levelling off. New construction is keeping pace with demand. The long-term outlook for the area remains positive. The subject has frontage along Boulder Highway, which is a major commercial corridor, and the location is suitable for commercial use. It is my opinion that commercial development would satisfy the tests of economically feasible and maximally productive use.

### Highest and Best Use Conclusion

It is my opinion that the highest and best use of subject property is for commercial development.



## Valuation Methodology

Three basic approaches may be used to arrive at an estimate of market value. They are:

1. The Cost Approach
2. The Income Approach
3. The Sales Comparison Approach

## Analyses Applied

A **cost approach** was not applied as most market participants would not consider cost in their analysis of a property such as the subject.

A **sales comparison analysis** was considered and was developed because there is adequate data to develop a value estimate and this approach reflects market behavior for this property type.

An **income analysis** was not considered as most market participants would not consider an income analysis.



## Land Valuation

I have identified comparable vacant land sales in the general area with similar locations and use potential as the subject. I have compared these properties to the subject based on price per square foot, and I have adjusted for differences which exist, based on market derived data.

On the following page is a summary of the comparable sales that I have included, followed by a map that depicts the locations of the comparables relative to the subject. I have also included descriptions of the comparable sales and aerial photographs for further identification of these properties.



### Summary of Comparable Land Sales

No.	Property Location	Sale Date	Sale Price	Size (Net SF)	Price Per Net SF
1	1020 S Boulder Hwy, Henderson, NV	May-25	\$3,700,000	134,585	\$27.49
2	Northeast side of Boulder Hwy, south of Tropicana Ave, Las Vegas, NV	May-24	\$2,000,000	96,268	\$20.78
3	2251 E Sahara Ave, Las Vegas, NV	Feb-24	\$1,455,000	75,794	\$19.20
4	2700 E Bonanza Rd, Las Vegas, NV	May-24	\$1,985,000	102,802	\$19.31
5	North side of Lake Mead Blvd, west of Nellis Blvd	Mar-26	\$3,900,000	184,694	\$21.12
6	North corner of Boulder Hwy and Pueblo Blvd	Jan-26	\$7,520,000	316,246	\$23.78
7	4182 E Lake Mead Blvd	Listing	\$2,194,000	114,998	\$19.08
Subj	Southeast side of Boulder Hwy, north of Nevada Ave., Las Vegas, NV	--	--	120,226	--



### Land Market Comparables Map

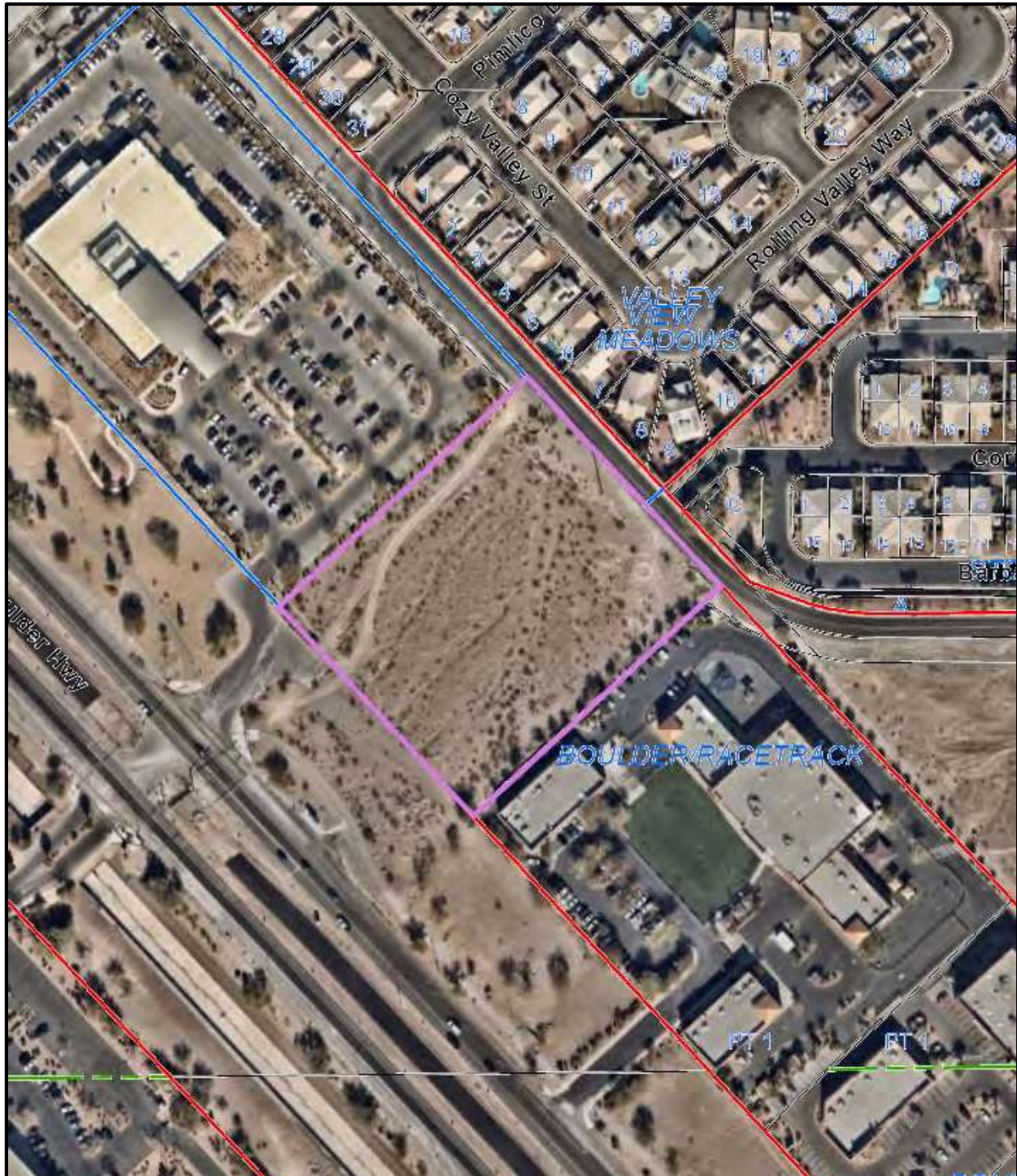


**Land Sale Abstract Number 1**

APN: 179-21-301-003  
Location: 1020 S Boulder Hwy, Henderson, NV 89015  
Grantor: Boulder VA, LLC  
Grantee: The Louie Commons, LLC  
Recording Date: May 1, 2025  
Document No.: 20250501-0000422  
Net Size: 3.09 Acres, or 134,585 SF  
Zoning: Corridor/Community Mixed-Use (MC), Henderson  
Planned Land Use: Transit Oriented Development (TOD), Henderson  
Overlay District: NA  
Utilities: Public power, water, and sewer are immediately available.  
Access: Access is available to this property by way of Boulder Highway and Sausalito Drive. The adjacent Boulder Highway is fully developed, and Sausalito drive is partially paved, but no curbs, gutters sidewalks or streetlights exist along this street.  
Topography: Level  
Sale Price: \$3,700,000.00  
Unit Price: \$27.49/SF  
Financing: Cash Equivalent  
Remarks: This property is surrounded by a VA primary care clinic, Pinecrest Academy Horizon charter school, a Lowe's anchored shopping center, and single-family residential developments. It sold after a marketing time of 63 days.  
Verified by: County Records, Deed



### Land Sale Number 1 – Aerial Photograph



**Land Sale Abstract Number 2**

APN: 161-28-510-024

Location: Northeast side of Boulder Highway, south of Tropicana Avenue, Las Vegas, NV 89122

Grantor: Albert D. Massi

Grantee: Tropicana Trails, LLC

Recording Date: May 7, 2024

Document No.: 20240507-0000637

Net Size: 2.21 Acres, or 96,268 SF (The net area excludes the drainage channel that extends along the northern boundary.)

Zoning: Commercial General (IL), Clark County

Planned Land Use: Corridor Mixed-Use (CM), Clark County

Overlay District: None

Utilities: Public power, water, and sewer are immediately available.

Access: Access is available to this property by way of Boulder Highway. The adjacent street is paved, but no curbs, gutters sidewalks or streetlights exist along the property's frontage.

Topography: The site is level. A drainage channel extends along the northern boundary; however, this channel has not been included in the net area.

Sale Price: \$2,000,000.00

Unit Price: \$20.78/SF

Financing: Cash Equivalent

Remarks: This property is surrounded by commercial and residential developments. The buyer plans to construct low-income apartments.

Verified by: County Records, Deed



### Land Sale Number 2 – Aerial Photograph



**Land Sale Abstract Number 3**

APN: 162-01-401-014

Location: 2251 E Sahara Ave, Las Vegas, NV 89104

Grantor: Nevada Property Ventures, LLC, Arville Capital Management, LLC, and Dividing Line Capital Management, LLC

Grantee: Sahara and Eastern Owner, LLC

Recording Date: February 28, 2024

Document No.: 20240228-0000250

Net Size: 1.74 Acres, or 75,794 SF

Zoning: Limited Commercial (C-1), Las Vegas

Planned Land Use: Transit Oriented Development (TOD), Las Vegas

Overlay District: NA

Utilities: Public power, water, and sewer are immediately available.

Access: Access is available to this property by way of Sahara Avenue, which borders the property to the south. The adjacent street is fully improved.

Topography: Level

Sale Price: \$1,455,000.00

Unit Price: \$19.20/SF

Financing: Cash Equivalent

Remarks: This property is surrounded by commercial developments, and a public park. The property was acquired for the construction of a carwash.

Verified by: County Records, Deed



### Land Sale Number 3 – Aerial Photograph



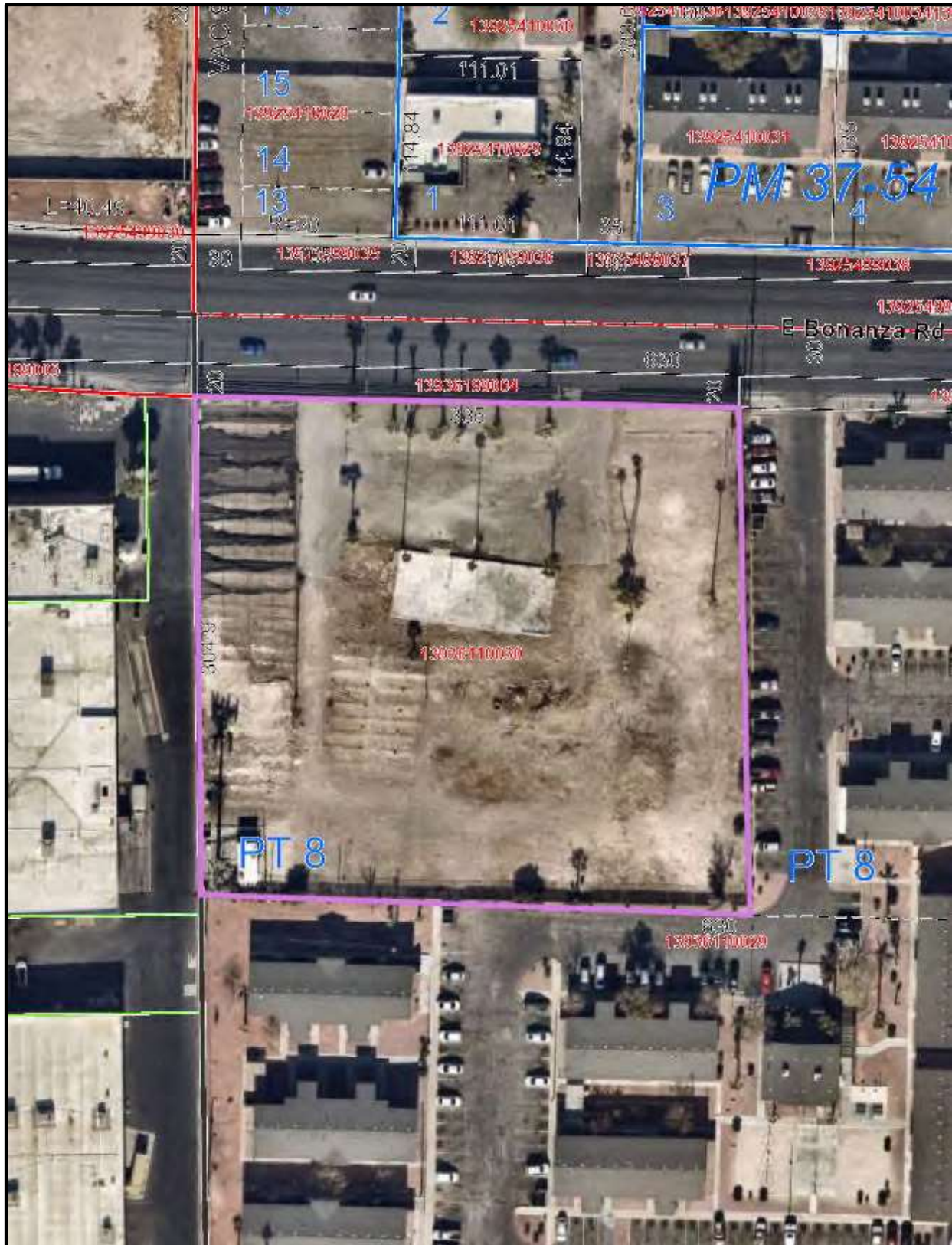
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**Land Sale Abstract Number 4**

APN: 139-36-110-030  
Location: 2700 E Bonanza Road, Las Vegas, NV 89101  
Grantor: Bonanza 101, LLC  
Grantee: CFT NV Developments, LLC  
Recording Date: May 2, 2024  
Document No.: 20240502-0001027  
Net Size: 2.36 Acres, or 102,802 SF  
Zoning: Limited Commercial (C-1), Las Vegas  
Planned Land Use: Transit Oriented Development (TOD), Las Vegas  
Overlay District: NA  
Utilities: Public power, water, and sewer are immediately available.  
Access: Access is available to this property by way of Bonanza Road, which borders the property to the north. The adjacent street is fully improved.  
Topography: Level  
Sale Price: \$1,985,000  
Unit Price: \$19.31/SF  
Financing: Cash Equivalent  
Remarks: This property is surrounded by commercial and multifamily developments. At the time of sale an economically obsolete building existed that has since been removed. This property had a marketing time of 458 days.  
Verified by: County Records, Deed



### Land Sale Number 4 – Aerial Photograph



**Land Sale Abstract Number 5**

APN: 140-20-610-066 thru -070

Location: North side of Lake Mead Blvd, west of Nellis Boulevard, Las Vegas, NV 89115

Grantor: Lake Mead Capital Management, LLC and etal

Grantee: MEQ LMN, LLC

Recording Date: March 3, 2026

Document No.: 20260303-0002145

Net Size: 4.24 Acres, or 184,694 SF

Zoning: Commercial General (CG), Clark County

Planned Land Use: Business Employment (BE), Clark County

Overlay District: NA

Utilities: Public power, water, and sewer are immediately available.

Access: Access is available to this property by way of Lake Mead Boulevard. The adjacent street is fully improved.

Topography: Level

Sale Price: \$3,900,000

Unit Price: \$21.12/SF

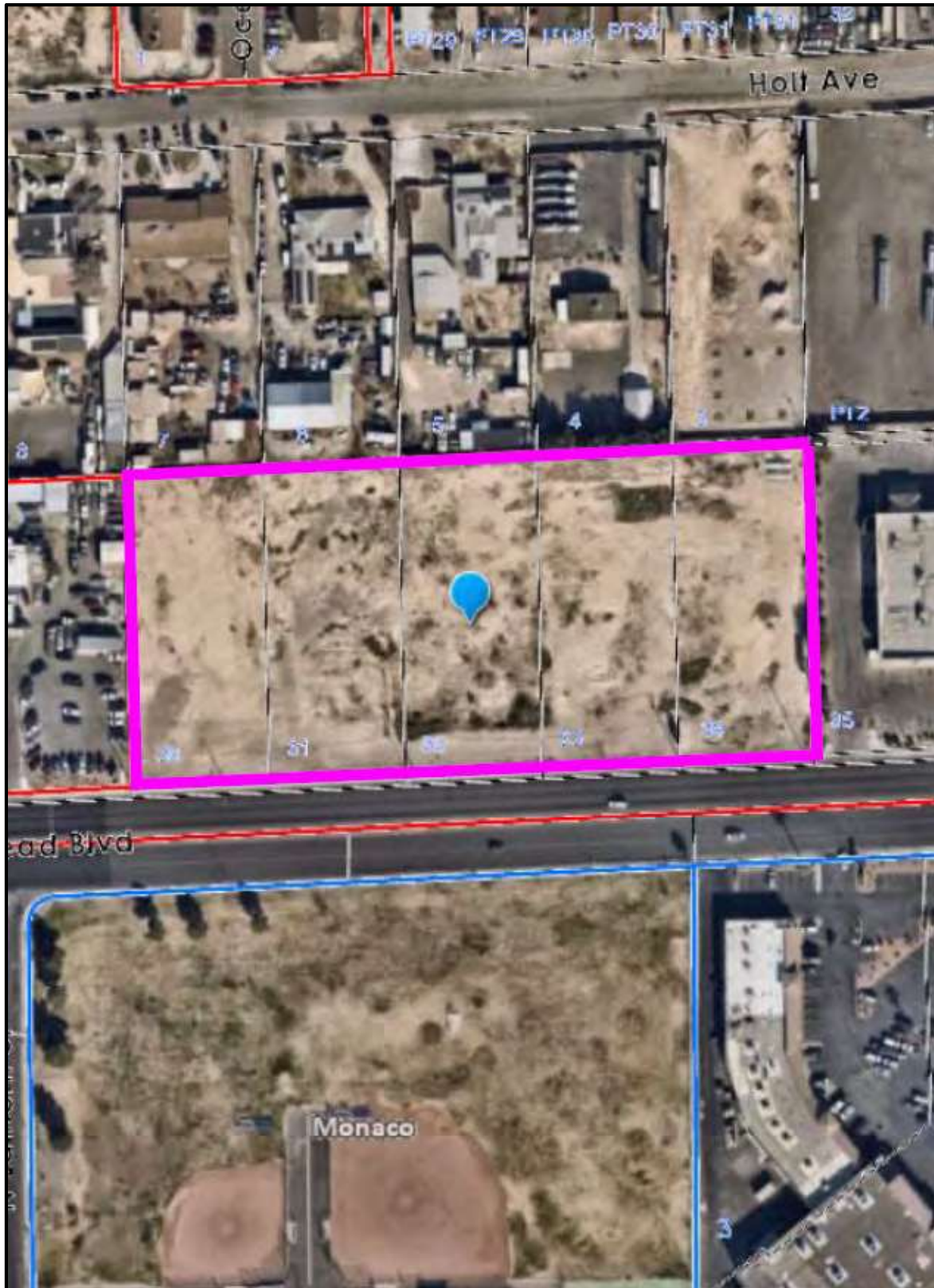
Financing: Cash Equivalent

Remarks: This property is surrounded by a Walgreens, a retail center, a middle school, a used car dealership, and single-family homes. This property had a marketing time of 29 months.

Verified by: County Records, Deed



Land Sale Number 5 – Aerial Photograph



**Land Sale Abstract Number 6**

APN: 179-20-602-025

Location: North corner of Boulder Highway and Pueblo Boulevard, Henderson, NV 89015

Grantor: BH Development Holdings, LLC

Grantee: HAND Property Holding Company

Recording Date: January 8, 2026

Document No.: 20260108-0003080

Net Size: 7.26 Acres, or 306,246 SF

Zoning: Corridor/Community Mixed-Use (MC), Henderson

Planned Land Use: Transit Oriented Development (TOD), Henderson

Overlay District: NA

Utilities: Public power, water, and sewer are immediately available.

Access: Access is available to this property by way of Boulder Highway and Pueblo Blvd. Boulder Highway is fully improved, and Pueblo Blvd lacks curbs, gutters and sidewalks.

Topography: Level

Sale Price: \$7,520,000

Unit Price: \$23.78/SF

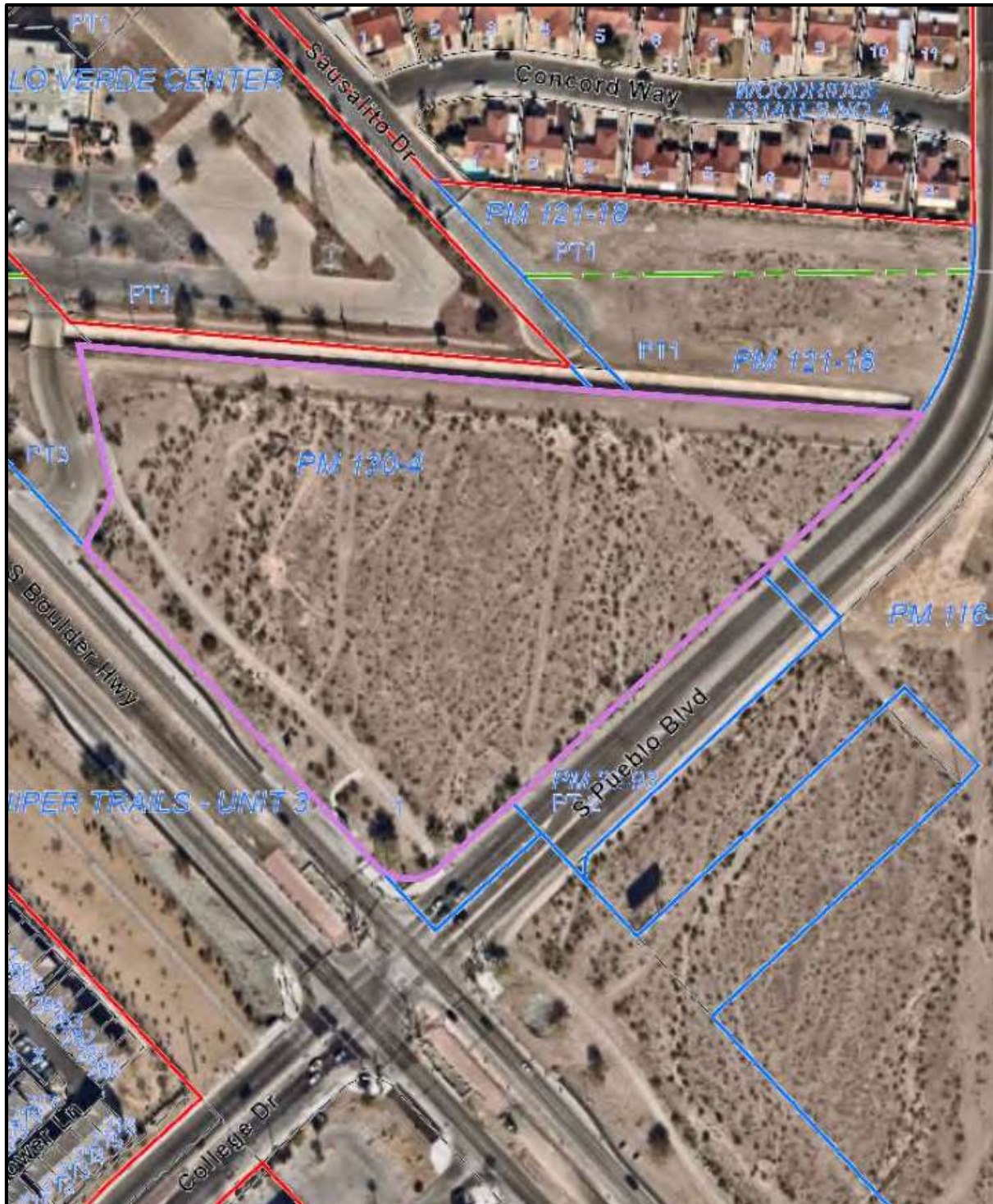
Financing: Cash Equivalent

Remarks: This property is surrounded by a tavern, vacant land, a convenience store/gas station and a townhome development. This property had a marketing time of over 11 years. A portion of the property that fronts Boulder Highway is encumbered with a bike path.

Verified by: County Records, Deed



### Land Sale Number 6 – Aerial Photograph

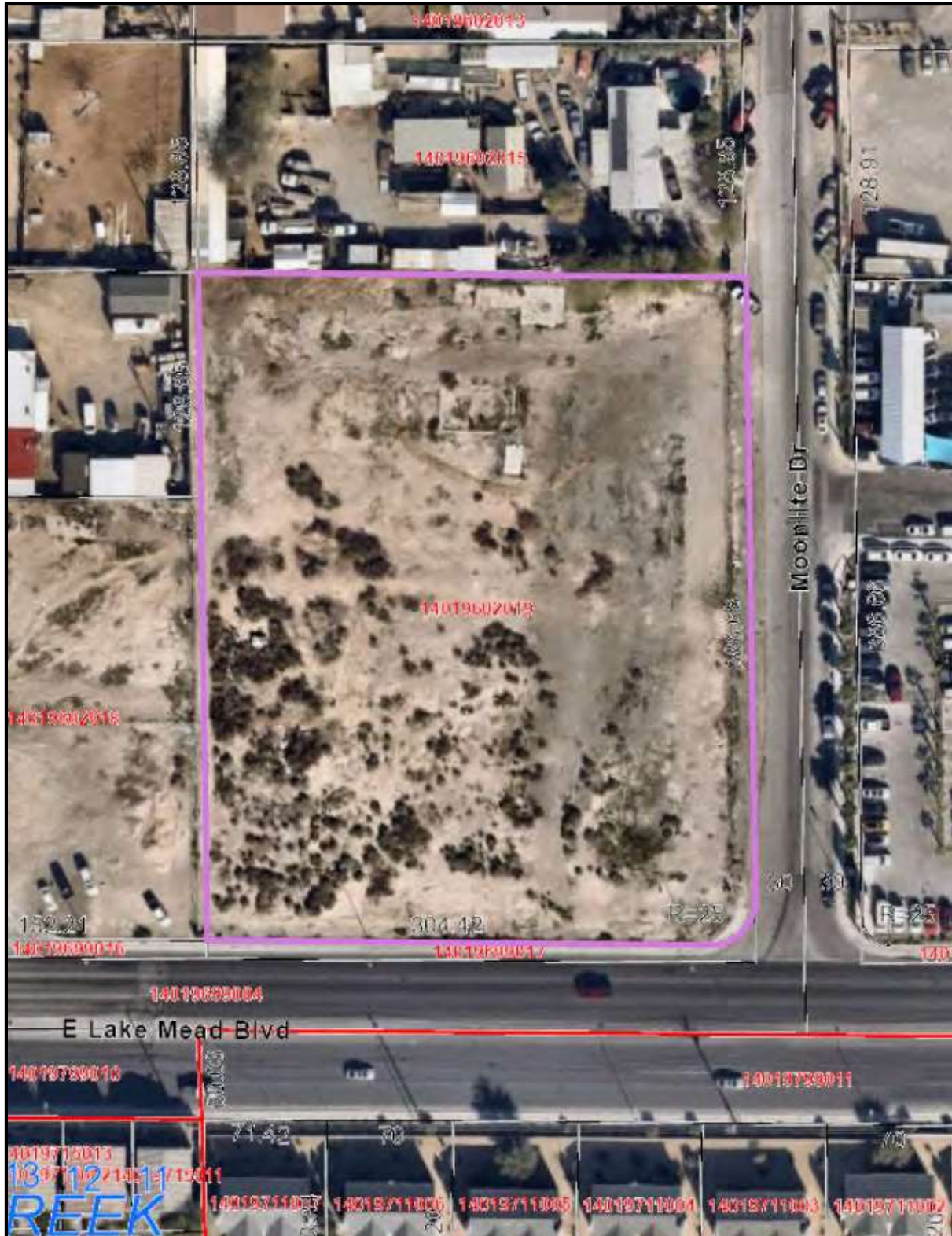


**Land Sale Abstract Number 7**

APN: 140-19-602-019  
Location: 4184 E Lake Mead Boulevard, NV 89115  
Grantor: Saticoy Bay, LLC  
Grantee: NA  
Recording Date: Listing  
Document No.: NA  
Net Size: 2.64 Acres, or 114,998 SF  
Zoning: Residential Single-Family 3.3 (RS3.3), Clark County  
Planned Land Use: Neighborhood Commercial (NC), Clark County  
Overlay District: NA  
Utilities: Public power, water, and sewer are immediately available.  
Access: Access is available to this property by way of Lake Mead Blvd and Moonlite Drive. Lake Mead Blvd is fully improved, and Moonlite Drive lacks curbs, gutters and sidewalks.  
Topography: Level  
Asking Price: \$2,194,000  
Unit Price: \$19.08/SF  
Financing: Cash Equivalent  
Remarks: This property is surrounded by a multi-tenant automotive repair facility, vacant land, a residential developments. This property has been available for sale for over two years.  
Verified by: County Records, Listing



### Land Sale Number 7 – Aerial Photograph



## Land Valuation – Analysis and Conclusion

The seven comparable properties indicate prices per net square foot from a low of \$19.08 to a high of \$27.49. To conclude an appropriate unit value for the subject, I have considered the differences which exist between the comparable properties and the subject.

### Property Rights, Financing, and Conditions of Sale:

Comparables 1 through 6 represent the fee simple interests in closed arms-length sales, which were purchased in all cash or cash equivalent transactions. No unusual conditions have been identified at these comparable properties that would warrant adjustments.

The price identified at Comparable 7 is an asking price that potentially could be negotiated downward; therefore, a qualitative downward consideration is made.

### Buyer Expenditures:

No buyer expenditures are identified at Comparables 1, 2, 3, 5, 6, or 7 that would warrant adjustments. Comparable 4 included economically obsolete improvements that needed to be removed; therefore, an upward adjustment is made.

### Market Conditions:

Comparables 1 through 6 transferred within the past 25 months, and Comparable 7 is a current listing. Unit prices for commercial land have been stable since 2022, and no adjustments are deemed necessary.

### Drainage:

The subject and comparables have typical drainage, and no special flood control improvements are necessary.

### Access:

The subject currently has paved access from Boulder Highway and Clark Street, and similar access is available at Comparables 1, 2, 4, 5, 6 and 7. Comparable 3 only has approximately 138 feet of frontage, and the access is considered inferior to the subject, warranting an upward adjustment.

### Utilities / Offsite Improvements:

All normal public utilities are available at the subject, which is similar to comparables; however, slight downward adjustments are made to Comparables 3, 4, and 5, which have complete street offsites, with sidewalks, curbs, and gutters along all adjacent streets.

### Onsite Improvements:

No onsite improvements exist at the subject and Comparables 1, 2, 3, 5, 6, and 7. Comparable 4 includes economically obsolete improvements that need to be removed; however, I have accounted for these improvements in my analysis of buyer expenditures.



**Location:**

In my analysis of the location of the subject relative to the comparables, I have considered visibility, traffic counts, and character of immediate surrounding neighborhoods. The overall locations of Comparables 2, 3, 4, 5, and 7 are judged to be similar. Comparables 1 and 6 are in a more commercialized area, where new development has occurred in the more recent past; therefore, downward adjustments are made.

**Topography:**

The subject and the comparables consist of level land.

**Zoning/ Land Use:**

The subject property is currently zoned CG which allows for a wide range of commercial use. All the comparables have similar zoning and/or use potential.

**Shape/ Encumbrances:**

The subject is of slightly irregular shape, bisected by a public alleyway, and Comparables 2, 3, and 6 are also of slightly irregular shape or have other encumbrances. Comparables 1, 4, and 7 are of rectangular shape, and no unusual encumbrances are identified; therefore, slight downward adjustments are made.

**Size:**

The subject contains 2.76 net acres, or 120,226 square feet, which is well within the range indicated by the comparables. No unit price differences are identified due to size differences. It is my opinion that the differences in size do no warrant adjustments.



**Adjustment Chart:**

Comparable	Subject	Adj. Comp 1	Adj. Comp 2	Adj. Comp 3	Adj. Comp 4	Adj. Comp 5	Adj. Comp 6	Adj. Comp 7
Sale Date		May-25	May-24	Feb-24	May-24	Mar-26	Jan-26	Listing
Sale Price		\$3,700,000	\$2,000,000	\$1,455,000	\$1,985,000	\$3,900,000	\$7,520,000	\$2,194,000
Size (Net SF)	120,226	134,585	96,268	75,794	102,802	184,694	316,246	114,998
Price Per SF		\$27.49	\$20.78	\$19.20	\$19.31	\$21.12	\$23.78	\$19.08
<b>Transactional Adjustments</b>								
Property Rights Adj.	None	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Adjusted Price		\$3,700,000	\$2,000,000	\$1,455,000	\$1,985,000	\$3,900,000	\$7,520,000	\$2,194,000
Financing Adj.	Cash Equivalent	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Adjusted Price		\$3,700,000	\$2,000,000	\$1,455,000	\$1,985,000	\$3,900,000	\$7,520,000	\$2,194,000
Conditions of Sale Adj.	Typical	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	Listing Downward
Adjusted Price		\$3,700,000	\$2,000,000	\$1,455,000	\$1,985,000	\$3,900,000	\$7,520,000	\$2,194,000
Buyer Expenditures Adj.	None	0.00%	0.00%	0.00%	5.00%	0.00%	0.00%	0.00%
Adjusted Price		\$3,700,000	\$2,000,000	\$1,455,000	\$2,084,250	\$3,900,000	\$7,520,000	\$2,194,000
Months Since Sale		10.00	22.00	25.00	22.00	-	2.00	-
Market Conditions Adj.	Stable	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Adjusted Price		\$3,700,000	\$2,000,000	\$1,455,000	\$2,084,250	\$3,900,000	\$7,520,000	\$2,194,000
Adjusted Price Per SF		\$27.49	\$20.78	\$19.20	\$20.27	\$21.12	\$23.78	\$19.08
<b>Property Adjustments</b>								
Drainage Adj.	Typical	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Access Adj.	Paved	0.00%	0.00%	5.00%	0.00%	0.00%	0.00%	0.00%
Utilities/Offsites Adj.	Partial	0.00%	0.00%	-2.00%	-2.00%	-2.00%	0.00%	0.00%
Onsites Adj.	None	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Location Adj.	Boulder Hwy	-15.00%	0.00%	0.00%	0.00%	0.00%	-15.00%	0.00%
Topography Adj.	Level	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Zoning/ Use Adj.	Commercial	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Shape/Encumbrances Adj.	Irregular	-5.00%	0.00%	0.00%	-5.00%	-5.00%	0.00%	-5.00%
Size Adj.	120,226 SF	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
<b>Indication of Value Per SF</b>		<b>\$21.99</b>	<b>\$20.78</b>	<b>\$19.77</b>	<b>\$18.86</b>	<b>\$19.64</b>	<b>\$20.21</b>	<b>\$18.12</b>
<b>Total %Net Adjustment</b>		<b>-20%</b>	<b>0%</b>	<b>3%</b>	<b>-2%</b>	<b>-7%</b>	<b>-15%</b>	<b>-5%</b>
<b>Gross %Adjustment</b>		<b>20%</b>	<b>0%</b>	<b>2%</b>	<b>12%</b>	<b>7%</b>	<b>15%</b>	<b>5%</b>



**Conclusion of Market Value:**

The six comparable properties indicate a range in prices per square foot, prior to adjustments, from a low of \$19.08 to a high of \$27.49. Adjustments are needed for the differences in location, shape/encumbrances, and offsite improvements. After appropriate adjustments, the range in unit prices is from \$18.12 to \$21.99 per square foot, with an average of \$19.91.

Based on my analysis of each of the comparable properties as they relate to the subject, I have concluded a market value opinion for the subject at \$20.00 per square foot, which is well within the range indicated by the comparable properties prior to and after adjustments. My *as is* market value opinion is summarized as follows:

**Value Opinion – Summarized**

Net Site Area (SF):		120,226
Value per SF:	\$	<u>20.00</u>
<b>Indicated Market Value Opinion (rounded):</b>	<b>\$</b>	<b>2,405,000</b>



## Assumptions and Limiting Conditions

### **This appraisal assignment has been made with the following general assumptions:**

1. No responsibility is assumed for the legal description or for matters including legal or title considerations. Title to the property is assumed to be good and marketable unless otherwise stated.
2. The property is appraised free and clear of any or all liens or encumbrances unless otherwise stated.
3. Responsible ownership and competent property management are assumed.
4. The information furnished by others is believed to be reliable. However, no warranty is given for its accuracy.
5. All engineering is assumed to be correct. The plot plans and illustrative material in this report are included only to assist the reader in visualizing the property.
6. It is assumed that there are no hidden or unapparent conditions of the property, subsoil or structures that render it more or less valuable. No responsibility is assumed for such conditions or for arranging for engineering studies that may be required to discover them.
7. Unless otherwise stated in this report, the existence of hazardous material, which may or may not be present on the property, was not observed, however, we are not qualified to detect such substances. The presence of substances such as asbestos, urea-formaldehyde foam insulation or other potentially hazardous materials may affect the value of the property. The value opinion is predicated on the assumption that there is no such material on or in the property that would cause a loss in value. No responsibility is assumed for any such conditions, or for any expertise or engineering knowledge required to discover them. The client is urged to retain an expert in this field, if desired.
8. It is assumed that there is full compliance with all applicable federal, state and local environmental regulations and laws unless non-compliance is stated, defined and considered in the appraisal report.
9. It is assumed that all applicable zoning and use regulations and restrictions have been complied with, unless a non-conformity has been stated, defined and considered in the appraisal report.



10. It is assumed that all required licenses, certificates of occupancy, consents or other legislative or administrative authority from any local, state or national government or private entity or organization have been or can be obtained or renewed for any use on which the value opinion contained in this report is based.
11. It is assumed that the utilization of the land and improvements is within the boundaries or property lines of the property described, and that there is no encroachment or trespass unless noted in the report.

**All reports issued by these appraisers are subject to the following general limiting conditions:**

1. The distribution, if any, of the total valuation in this report between land and improvements applies only under the stated program of utilization. The separate allocations for land and buildings must not be used in conjunction with any other appraisal and are invalid if so used.
2. Possession of this report, or a copy thereof, does not carry with it the right of publication. It may not be used for any purpose by any person other than the party to whom it is addressed without the written consent of the appraiser, and in any event, only with proper written qualification and only in its entirety.
3. The appraisers herein, by reason of this appraisal, are not required to give further consultation, testimony or be in attendance in court with reference to the property in question unless arrangements have been previously made.
4. Neither all nor any part of the contents of this report (especially any conclusions as to value, the identity of the appraiser or the firm with which the appraiser are connected) shall be disseminated to the public through advertising, public relations, news, sales or other media without the prior written consent and approval of the appraiser.
5. The American with Disabilities Act ("ADA") became effective January 26, 1992. I have not made a specific compliance survey and analysis of this property to determine whether or not it is in conformity with the various detailed requirements of the ADA. It is possible that a compliance survey of the property, together with a detailed analysis of the requirements of the ADA, could reveal that the property is not in compliance with one or more of the requirements of the Act. If so, this fact could have a negative effect upon the value of the property. Since I have no direct evidence relating to this issue, I did not consider possible non-compliance with the requirements of ADA in estimating the value of the property.



**This appraisal has been developed and the report is provided subject to the following specific assumptions, extraordinary assumptions, hypothetical conditions and additional limiting conditions:**

1. The property is free and clear of all unusual liens and encumbrances.



## Certification of Value

**The undersigned does hereby certify that, except as otherwise noted in this appraisal report, to the best of my knowledge and belief, ...**

1. The statements of fact contained in this appraisal report are true and correct.
2. The reported analyses, opinions and conclusions are limited only by the reported assumptions and limiting conditions and is my personal, impartial and unbiased professional analyses, opinions and conclusions.
3. I have no present or prospective interest in the property that is the subject of this report, and no personal interest with respect to the parties involved.
4. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
5. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
6. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
7. The appraisal assignment was not based on a requested minimum valuation, a specific valuation or the approval of a loan.
8. I have previously appraised the subject property once within the three-year period immediately preceding acceptance of this assignment.
9. Chris Mathews has made a personal inspection of the property that is the subject of this report.
10. No one provided significant professional assistance to the person signing this report.
11. My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the *Uniform Standards of Professional Appraisal Practice* (USPAP) as adopted by the Appraisal Standard's Board of the Appraisal Foundation.
12. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.



13. As of the date of this report, Chris Mathews, MAI, has completed the requirements under the continuing education program of the Appraisal Institute.
14. As of the date of this report, Chris Mathews, MAI, has completed the *Standards and Ethics Education Requirement of the Appraisal Institute*.
15. I am competent and qualified to perform the appraisal assignment. The appraiser's State licenses/certifications have not been revoked, suspended, canceled, or restricted.
16. This report is intended to comply with the reporting requirements of the *Uniform Standards of Professional Appraisal Practice*.
17. Based on my analysis of all the data used, I have developed an opinion of the *as is* market value, as of March 27, 2026, at:

**Two Million Four Hundred Five Thousand Dollars**  
**(\$2,405,000)**

Appraiser Chris Mathews  
Chris Mathews, MAI

Date April 21, 2026



# **ADDENDA**

**APPRAISER'S QUALIFICATIONS**



**Chris Mathews, MAI**

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## **LICENSING**

Certified General Appraiser, State of Nevada, License No. A.0205456-CG  
Certified General Appraiser, State of Utah, License No. 9021077-CG00

## **PROFESSIONAL DESIGNATION**

MAI Designation - Appraisal Institute

Requirements fulfilled for MAI designation include:

- Demonstrate good moral character
- Earn a four-year degree from an accredited university
- Receive credit for 4,500 hours of specialized experience
- Pass the two day, four module, AI General Comprehensive Exam
- Receive credit for advanced coursework
- Complete Demonstration Report

## **EDUCATION**

B.S., Real Estate, University of Nevada-Las Vegas, 2004  
B.S., Finance, University of Nevada-Las Vegas, 2004

## **EXPERIENCE**

Principal of Mathews Appraisal, St. George, Utah	2014 to Present
Appraiser at Anderson Valuation Group, Las Vegas, Nevada	2005 to 2014

Experience includes analysis and valuation of: hotels, apartments, retail centers, office complexes, industrial buildings, all types of vacant land, farms, and a wide range of special use properties.

## **Service Areas:**

Nevada & Utah

UNLV	Real Estate Appraisal
UNLV	Analysis of Income Properties
Key Realty School	National USPAP Course
Key Realty School	Nevada Appraisal Law
Appraisal Institute	Income Valuation of Small, Mixed-Use Properties
Appraisal Institute	Basic Income Capitalization
Appraisal Institute	Advanced Income Capitalization
Appraisal Institute	Advanced Sales Comparison & Cost Approaches
Appraisal Institute	Report Writing and Valuation Analysis
Appraisal Institute	Advanced Applications
Appraisal Institute	Advanced Market and Highest and Best Use
Appraisal Institute	Review Theory – General
McKissock	Supervisor-Trainee Course
Appraisal Institute	UASFLA: Practical Applications
McKissock	Appraisal of Self-Storage Facilities
McKissock	Appraisal of Industrial Incubators

**Types of Properties Appraised:**

Hotels	Taverns	Automobile Dealerships
Multi-Family	Gas Stations	Mobile Home Parks
Retail Centers	Convenience Stores	RV Parks
Professional Office	Churches	Residential Subdivisions
Medical Office	Right-of-Ways	Airport Hangars
Industrial	Water Rights	Mini-Storage
Vacant Land	LIHTC	Fractional Interests
Restaurants	Market Feasibility Studies	Cell Towers
Agricultural	Easements	Single Family Residential

**Purposes of Appraisals:**

- Real Estate Lending
- Asset Monitoring
- Real Estate Tax Considerations
- Estate Management
- Condemnation
- Acquisitions
- Dispositions
- Divorce Settlements
- Various Other Litigation Purposes

## **ACCEPTANCE OF PROPOSAL**



**Department of Real Property Management**  
**Property Management and Acquisition Division**

500 S. Grand Central Pkwy. 4<sup>th</sup> Fl, Las Vegas, NV 89155-1825  
Office: 702-455-4616 | Fax: 702-455-4055 | [ClarkCountyNV.gov](http://ClarkCountyNV.gov)

*Shauna Bradley, Director | Joshua Erickson, Deputy Director*

**VIA EMAIL** to Mathews, Chris L [Chris@mathewsappraisalinc.com](mailto:Chris@mathewsappraisalinc.com)

March 23, 2026

Chris L Mathews  
3143 S. 840 E., Ste 345  
St. George, UT 84790

**ACCEPTANCE OF APPRAISAL PROPOSAL**

Clark County hereby accepts your proposal in the amount of \$2,500 dated March 18, 2026, for the appraisal update of APN 161-27-203-011 to 014, 161-27-212-005 to 008 and 161-27-311-001, comprising +/-2.76 acres of vacant/ undeveloped land located off Boulder Highway, Nevada Avenue, and Clark St (Property). Please include in your appraisal report a copy of the Preliminary Title Report, Geotech report, and any other documents provided to you. Please reference these items in the Appendix of your report and in the appropriate area of the appraisal report if any basis for value is determined. We will expect to receive the report no later than **April 06, 2026**.

If you have any questions regarding this assignment, please contact me at (702) 455-2501 or by email at [Ischel.Meza@ClarkCountyNV.gov](mailto:Ischel.Meza@ClarkCountyNV.gov).

Sincerely,

Ischel Meza  
Senior Office Specialist

CC: Shauna Bradley, Director  
Robert Tomiyasu, Property Acquisition Administrator  
Jaime Leary, Real Estate Administrator

## **TITLE REPORT**

# PRELIMINARY REPORT

Issued By:

**Fidelity National Title**



Prelim Number:

**NCS250843  
Amendment 1st**

In response to the application for a policy of title insurance referenced herein, **Fidelity National Title Insurance Company** hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a policy or policies of title insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of a defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Exclusions from Coverage, and Conditions of said policy forms.

With respect to any contemplated owner's policy, the printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Attachment One. The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Limitations on Covered Risks applicable to the CLTA/ALTA Homeowner's Policy of Title Insurance, which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Attachment One. Copies of the policy forms should be read. They are available from the office which issued this report.

**Please read the exceptions shown or referred to herein and the exceptions and exclusions set forth in Attachment One of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.**

**It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.**

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a binder or commitment should be requested.

**Fidelity National Title Insurance Company**

By:

Michael J. Nolan, President

Attest:

Marjorie Nemzura, Secretary

Countersigned By:

Robert Ray  
Authorized Officer or Agent

SCHEDULE A

ORDER NO.: NCS250843

Project Name:

ISSUING OFFICE:	FOR SETTLEMENT INQUIRIES, CONTACT:
Title Officer: Amy Andries Fidelity National Title NCS Las Vegas, a division of FNT Agency of Nevada, Inc. 6385 S. Rainbow Blvd., Suite 130 Las Vegas, NV 89118 Email: amy.andries@fnf.com	Escrow Officer: Kristen Haynes Fidelity National Title NCS Las Vegas, a division of FNT Agency of Nevada, Inc. 6385 S. Rainbow Blvd., Suite 130 Las Vegas, NV 89118 Phone: 702-952-8227 Fax: 702-938-8729 Main Phone: 702-952-8227 Email: Kristen.Haynes@fnf.com

**Proposed Buyer(s):** The Redevelopment Agency of Clark County

**Sales Price:** \$2,400,000.00

**Proposed Lender:** Lender with contractual obligations under a loan agreement with the vested owner identified at Item 4 below, or proposed purchaser

**Loan Policy Amount:** \$10,000.00

**Loan No.:**

**Short Term Rate:** No

Property Address(es): 5920 Boulder Hwy (ETAL), Las Vegas, NV 89122-7466

**Effective date: August 19, 2025 at 12:00 AM**

The form of Policy or Policies of Title Insurance contemplated by this Report is:

TBD

1. The estate or interest in the Land hereinafter described or referred to covered by this Report is:

Fee Simple

2. Title to said estate or interest at the date hereof is [vested in:](#)

Shane Demirjan, an unmarried man

3. The Land referred to in this Report is situated in the State of Nevada, County of Clark, and is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

**EXHIBIT "A"**  
Legal Description

**Order No.:** NCS250843

**For APN/Parcel ID(s):** [161-27-203-011](#) thru -014, [161-27-212-005](#) thru -008, [161-27-311-001](#) and

**PARCEL 1:** [APN 161-27-212-005](#) through 008; [APN 161-27-311-001](#)

Lots Nine (9), Ten (10), Eleven (11), Twelve (12), Thirteen (13) and Fourteen (14), Fifteen (15) and Sixteen (16) in Block One (1) of CARTER BUNCH SUBDIVISION, as shown by map thereof on file in [Book 2 of Plats, Page 74](#), in the Office of the County Recorder of Clark County, Nevada.

**Parcel 2:** [APN 161-27-203-011](#)

That portion of Section 27, Township South, Range 62 East, M.D.B.&M., Clark County, Nevada, more particularly described as follows:

Beginning at the Southwest Corner of the Northwest Quarter (NW 1/4) of the Northwest Quarter (NW 1/4) of Section 27, Township 21 South, Range 62 East, M.D.B.&M.

Thence South 89°6' West 251.14 feet to a point on the Southerly line of the State Highway right-of-way; Thence South 42°27' East 1186.48 feet along said Southerly line of State Highway right-of-way to the True Point of Beginning, the most Northerly corner of this parcel; Thence South 42°27' East 50 feet along said Southerly line of State Highway right-of-way to a point; Thence South 47°33' West 100 feet to a point; Thence North 42°27' West 50 feet to a point; Thence North 47°33' East 50 feet to the True Point of Beginning.

Also known as the Northwesterly Half of Lot-13 in Whitney Tract, Clark County, Nevada.

Parcel 2A:

A portion of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of Section 27, Township 21 South, Range 62 East, M.D.B.&M., as follows:

Beginning at the Southwest Corner of the Northwest Quarter (NW 1/4) of the Northwest Quarter (NW 1/4) of Section 27, Township 21 South, Range 62 East, M.D.B.&M.; Thence South 89° 6' West 251.14 feet to a point on the Southerly line of the State Highway right-of-way; Thence South 42°27' East 1,236.48 feet along said Southerly line of State Highway right-of-way to the True Point of Beginning, the most Northerly corner of this parcel; Thence South 42°27' East 50 feet along said Southerly line of State Highway right-of-way to a point; Thence South 47°33' West 100 feet to a point; Thence North 42°27' West 50 feet to a point; Thence North 47°33' East 100 feet to the True Point of Beginning.

Also known as the Southeasterly Half of Lot- 13 in Whitney Tract, Clark County, Nevada.

Note: The above meets and bound legal description previously appeared in that certain Grant, Bargain and Sale Deed recorded July 27, 2006 in Book 20060727, [Instrument No. 0004714](#), of Official Records.

**PARCEL 3:** [APN 161-27-203-012](#)

Part of the Northwest Quarter (NW 1A) of Section 27, Township 21 South, Range 62 East, M.D.B.&M., being part of the unrecorded plat of WHITNEY TRACT and described by metes and bounds as follows:

BEGINNING at a point on the Southwesterly line of the State Highway, South 89°06' West 251.15 from the Northwest Corner of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of said Section 27; Thence South 42°27' East 1,286.48 feet to the True Point of Beginning; Thence South 42°27' East 50 feet along the said Southwesterly line of

**EXHIBIT "A"**  
Legal Description

the State Highway; Thence South 47°33' West 100 feet; Thence North 42°27' West 50 feet; Thence North 47°33' East 100 feet to the True Point of Beginning.

Said parcel is known as the Northwesterly one-half of Lot Fourteen (14) of WHITNEY TRACT.

Note: The above meets and bound legal description previously appeared in that certain Grant, Bargain and Sale Deed recorded July 27, 2006 in Book 20060727, [Instrument No. 0004714](#), of Official Records.

**PARCEL 4: [APN 161-27-203-014](#)**

THAT PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) IN SECTION 27, TOWNSHIP 21 SOUTH, RANGE 62 EAST M.D.B. &M., BEING PART OF THE UNRECORDED PART OF WHITNEY TRACT AND DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 27, TOWNSHIP 21 SOUTH, RANGE 62 EAST, M.D.B. &M.; THENCE SOUTH 89°06' WEST 251.15 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF THE STATE HIGHWAY; THENCE SOUTH 42°47' EAST 1386.48 FEET ALONG THE SOUTHWESTERLY LINE OF THE STATE HIGHWAY TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 42°47' EAST A DISTANCE OF 200 FEET ALONG THE SOUTHWEST LINE OF SAID STATE HIGHWAY; THENCE SOUTH 47°33' WEST 100 FEET; THENCE NORTH 42°27' WEST A DISTANCE OF 200 FEET; THENCE NORTH 47°33' EAST 100 FEET TO THE TRUE POINT OF BEGINNING.

NOTE: THE ABOVE METES AND BOUNDS LEGAL DESCRIPTION APPEARED PREVIOUSLY IN THAT CERTAIN DOCUMENT RECORDED JANUARY 31, 2003 IN BOOK 20051230 AS [INSTRUMENT NO. 0006023](#), OF OFFICIAL RECORDS.

**PARCEL 5: [APN 161-27-203-013](#)**

THAT PORTION OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 27, TOWNSHIP 21 SOUTH, RANGE 62 EAST, M.D.B. &M., BEING PART OF THE UNRECORDED PLAT OF WHITNEY RANCH AND DESCRIBED AS METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHWESTERLY LINE OF THE STATE HIGHWAY SOUTH 89°06'00" WEST 251.15 FEET FROM THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 27; THENCE SOUTH 42°27'00" EAST 50.00 FEET ALONG THE SAID SOUTHWESTERLY LINE OF THE STATE HIGHWAY; THENCE SOUTH 47°33'00" WEST 100.00 FEET TO A POINT; THENCE NORTH 42°27'00" WEST 50.00 FEET TO A POINT; THENCE NORTH 47°33'00" EAST 100.00 FEET TO THE TRUE POINT OF BEGINNING.

SAID PARCEL BEING KNOWN AS THE SOUTHEASTERLY ONE-HALF OF LOT 14 OF WHITNEY RANCH.

NOTE: THE ABOVE METES AND BOUNDS LEGAL DESCRIPTION APPEARED PREVIOUSLY IN THAT CERTAIN DOCUMENT RECORDED JANUARY 31, 2003 IN BOOK 20051230 AS [INSTRUMENT NO. 0006023](#), OF OFFICIAL RECORDS.

**SCHEDULE B – Section A**

The following exceptions will appear in policies when providing standard coverage as outlined below:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land, or (b) asserted by persons or parties in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.
7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

**SCHEDULE B – Section B**

At the date hereof, exceptions to coverage in addition to the printed Exceptions and Exclusions in said policy form would be as follows:

**Affects Assessor's Parcel Numbers: 161-27-212-005 through 161-27-212-008; 161-27-311-001**

1. General and special State, County and/or City property taxes, including any personal property taxes and any assessments collected with taxes, payable in four (4) quarterly installments (due on or before 3rd Monday in August and 1st Monday in October, January and March, respectively) are as follows:

Assessor's Parcel No.: [161-27-212-005](#)

District Number: 570  
Fiscal Year: 2025-2026  
Total Taxes: \$1,438.04  
1st Installment: \$361.67, paid  
2nd Installment: \$358.79, not yet due and payable  
3rd Installment: \$358.79, not yet due and payable  
4th Installment: \$358.79, not yet due and payable  
(The 1st Installment above includes a fee for the Las Vegas Artesian Basin.)  
Affects Lot 9 and 10

2. General and special State, County and/or City property taxes, including any personal property taxes and any assessments collected with taxes, payable in four (4) quarterly installments (due on or before 3rd Monday in August and 1st Monday in October, January and March, respectively) are as follows:

Assessor's Parcel No.: [161-27-212-006](#)

District Number: 570  
Fiscal Year: 2025-2026  
Total Taxes: \$735.73  
1st Installment: \$186.10, paid  
2nd Installment: \$183.21, not yet due and payable  
3rd Installment: \$183.21, not yet due and payable  
4th Installment: \$183.21, not yet due and payable  
(The 1st Installment above includes a fee for the Las Vegas Artesian Basin.)  
Affects Lot 11

3. General and special State, County and/or City property taxes, including any personal property taxes and any assessments collected with taxes, payable in four (4) quarterly installments (due on or before 3rd Monday in August and 1st Monday in October, January and March, respectively) are as follows:

Assessor's Parcel No.: [161-27-212-007](#)

District Number: 570  
Fiscal Year: 2025-2026  
Total Taxes: \$735.73  
1st Installment: \$186.10, paid  
2nd Installment: \$183.21, not yet due and payable  
3rd Installment: \$183.21, not yet due and payable  
4th Installment: \$183.21, not yet due and payable  
(The 1st Installment above includes a fee for the Las Vegas Artesian Basin.)  
Affects Lot 12

**SCHEDULE B – Section B  
(continued)**

4. General and special State, County and/or City property taxes, including any personal property taxes and any assessments collected with taxes, payable in four (4) quarterly installments (due on or before 3rd Monday in August and 1st Monday in October, January and March, respectively) are as follows:

Assessor's Parcel No.: [161-27-212-008](#)

District Number: 570  
Fiscal Year: 2025-2026  
Total Taxes: \$1,377.01  
1st Installment: \$346.42, paid  
2nd Installment: \$343.53, not yet due and payable  
3rd Installment: \$343.53, not yet due and payable  
4th Installment: \$343.53, not yet due and payable  
(The 1st Installment above includes a fee for the Las Vegas Artesian Basin.)  
Affects Lots 13 and 14

5. General and special State, County and/or City property taxes, including any personal property taxes and any assessments collected with taxes, payable in four (4) quarterly installments (due on or before 3rd Monday in August and 1st Monday in October, January and March, respectively) are as follows:

Assessor's Parcel No.: [161-27-311-001](#)

District Number: 570  
Fiscal Year: 2025-2026  
Total Taxes: \$7,907.57  
1st Installment: \$6,854.06, due August 18, 2025  
2nd Installment: \$351.17, not yet due and payable  
3rd Installment: \$351.17, not yet due and payable  
4th Installment: \$351.17, not yet due and payable  
(The 1st Installment above includes a fee for the Las Vegas Artesian Basin.)  
Affects Lots 15 and 16

6. Any taxes that may be due, but not assessed, for new construction which can be assessed on the unsecured property rolls in the Office of the Clark County Assessor, per Nevada Statute 361.260.

7. Water rights, claims or title to water, whether or not disclosed by the Public Records.

8. Any lien or right to a lien for services, labor or material not shown by the public records.

9. Reservations and easements in the Patent from the United States of America.

Recording Date: October 30, 1919  
Recording No.: Book 6 of Deeds, Page 305, [Instrument No. 13138](#) of Official Records

10. Covenants, conditions and restrictions (deleting therefrom any restrictions based on race, color or creed) as set forth in the document

Recorded: November 12, 1941  
Book 29 of Deeds, Page 186 [Doc/Inst. No. 124623](#) of Official Records

**SCHEDULE B – Section B  
(continued)**

11. Matters contained in the dedication statement or elsewhere on the tract or parcel map shown below, which among other things provides:  
  
Tract/Parcel Map: Carter Bunch Subdivision, on file in [Book 2 of Plats, Page 74](#) of Official Records
12. Covenants, conditions and restrictions (deleting therefrom any restrictions based on race, color or creed) as set forth in the document  
Recording Date: September 30, 1947  
Recording No.: Book 25 of Misc. Records, Pages 376 and 377, [Instrument No. 266671](#) of Official Records
13. The effect of the following Record of Survey:  
File No.: 2, Page: 48  
Recorded: October 8, 1953  
[Doc/Inst. No. 416307](#) of Official Records
14. The effect of the following Record of Survey:  
File No.: 31, Page: 72  
Recorded: September 22, 1972  
Book 790 [Doc/Inst. No. 749941](#) of Official Records
15. Covenants, conditions and restrictions (deleting therefrom any restrictions based on race, color or creed) as set forth in the document  
Recording Date: October 15, 1982  
Recording No.: Book 1634, [Instrument No. 1593502](#) of Official Records
16. An easement for the purpose shown below and rights incidental thereto as set forth in a document  
Granted to: County of Clark  
Purpose: Perpetual Avigation  
Recording Date: May 30, 1980  
Recording No.: Book 1234, [Instrument No. 1193624](#) of Official Records
17. Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document  
  
Recording Date: February 1, 1993  
Recording No.: Book 930201, [Instrument No. 00935](#), of Official Records
18. A lien in favor of Clark County,  
  
For: special assessment  
Name of Owner: Shane Demirjian  
Amount: \$350.00  
Recording Date: September 5, 2019  
Recording No.: Book 20190905, [Instrument No. 0002247](#), of Official Records

**SCHEDULE B – Section B  
(continued)**

19. A lien in favor of Clark County,
- For: special assessment  
Name of Owner: Shane Demirjian  
Amount: \$350.00  
Recording Date: September 3, 2020  
Recording No: Book 20200903, [Instrument No. 0001340](#), of Official Records
20. A lien in favor of Clark County,
- For: special assessment  
Name of Owner: Shane Demirjian  
Amount: \$350.00  
Recording Date: September 10, 2020  
Recording No: Book 20200910, [Instrument No. 0002636](#), of Official Records
21. A lien in favor of Clark County,
- For: special assessment  
Name of Owner: Shane Demirjian  
Amount: \$350.00  
Recording Date: September 10, 2020  
Recording No: Book 20200910, [Instrument No. 0002637](#), of Official Records
22. A lien in favor of Clark County,
- For: special assessment  
Name of Owner: Shane Demirjian  
Amount: \$1,700.00  
Recording Date: June 24, 2021  
Recording No: Book 20210624, [Instrument No. 0002092](#), of Official Records
23. A lien in favor of Clark County,
- For: special assessment  
Name of Owner: Shane Demirjian  
Amount: \$6,500.00  
Recording Date: January 30, 2025  
Recording No: Book 20250130, [Instrument No. 0000777](#), of Official Records

**Affects [Assessor's Parcel Numbers: 161-27-203-011](#) through 014**

**SCHEDULE B – Section B  
(continued)**

24. General and special State, County and/or City property taxes, including any personal property taxes and any assessments collected with taxes, payable in four (4) quarterly installments (due on or before 3rd Monday in August and 1st Monday in October, January and March, respectively) are as follows:

Assessor's Parcel No.: [161-27-203-011](#)

District Number: 570  
Fiscal Year: 2025-2026  
Total Taxes: \$842.61  
1st Installment: \$212.82, paid  
2nd Installment: \$209.93, not yet due and payable  
3rd Installment: \$209.93, not yet due and payable  
4th Installment: \$209.93, not yet due and payable  
(The 1<sup>st</sup> Installment above includes a fee for the Las Vegas Artesian Basin.)

25. General and special State, County and/or City property taxes, including any personal property taxes and any assessments collected with taxes, payable in four (4) quarterly installments (due on or before 3rd Monday in August and 1st Monday in October, January and March, respectively) are as follows:

Assessor's Parcel No.: [161-27-203-012](#)

District Number: 570  
Fiscal Year: 2025-2026  
Total Taxes: \$422.79  
1st Installment: \$107.88, paid  
2nd Installment: \$104.97, not yet due and payable  
3rd Installment: \$104.97, not yet due and payable  
4th Installment: \$104.97, not yet due and payable  
(The 1<sup>st</sup> Installment above includes a fee for the Las Vegas Artesian Basin.)

26. General and special State, County and/or City property taxes, including any personal property taxes and any assessments collected with taxes, payable in four (4) quarterly installments (due on or before 3rd Monday in August and 1st Monday in October, January and March, respectively) are as follows:

Assessor's Parcel No.: [161-27-203-013](#)

District Number: 570  
Fiscal Year: 2025-2026  
Total Taxes: \$422.79  
1st Installment: \$107.88, paid  
2nd Installment: \$104.97, not yet due and payable  
3rd Installment: \$104.97, not yet due and payable  
4th Installment: \$104.97, not yet due and payable  
(The 1<sup>st</sup> Installment above includes a fee for the Las Vegas Artesian Basin.)

**SCHEDULE B – Section B  
(continued)**

27. General and special State, County and/or City property taxes, including any personal property taxes and any assessments collected with taxes, payable in four (4) quarterly installments (due on or before 3rd Monday in August and 1st Monday in October, January and March, respectively) are as follows:
- Assessor's Parcel No.: [161-27-203-014](#)  
District Number: 570  
Fiscal Year: 2025-2026  
Total Taxes: \$1,758.74  
1st Installment: \$441.86, paid  
2nd Installment: \$438.96, not yet due and payable  
3rd Installment: \$438.96, not yet due and payable  
4th Installment: \$438.96, not yet due and payable  
(The 1<sup>st</sup> Installment above includes a fee for the Las Vegas Artesian Basin.)
28. Any taxes that may be due, but not assessed, for new construction which can be assessed on the unsecured property rolls in the Office of the Clark County Assessor, per Nevada Statute 361.260.
29. Water rights, claims or title to water, whether or not disclosed by the Public Records.
30. Any lien or right to a lien for services, labor or material not shown by the public records.
31. Reservations and easements in the Patent from the United States of America.  
Recording Date: October 30, 1919  
Recording No.: Book 6 of Deeds, Page 305, [Instrument No. 13138](#) of Official Records
32. Matters contained in the dedication statement or elsewhere on the tract or parcel map shown below, which among other things provides:  
Tract/Parcel Map: [Book 2 of Plats, Page 74](#)
33. Covenants, conditions and restrictions (deleting therefrom any restrictions based on race, color or creed) as set forth in the document  
Recording Date: September 30, 1947  
Recording No.: Book 25 of Misc. Records, Page 376, [Instrument No. 266671](#), of Official Records
34. An easement for the purpose shown below and rights incidental thereto as set forth in a document  
Granted to: County of Clark  
Purpose: Perpetual Avigation  
Recording Date: June 3, 1994  
Recording No.: Book 940603, [Instrument No. 00985](#) of Official Records
35. A lien in favor of Clark County,
- For: special assessment  
Name of Owner: Shane Demirjian  
Amount: \$1,126.00  
Recording Date: October 24, 2013  
Recording No: Book 20131024, [Instrument No. 0002037](#), of Official Records

**SCHEDULE B – Section B  
(continued)**

**Affects All Parcels**

36. Please be advised that our search did not disclose any open Deeds of Trust of record. If you should have knowledge of any outstanding obligation, please contact the Title Department immediately for further review prior to closing.
37. Rights and claims of parties in possession by reason of unrecorded leases, if any, that would be disclosed by an inquiry of the parties or by an inspection of said Land.
38. Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
39. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land, or (b) asserted by persons or parties in possession of the Land.
40. If Extended Coverage is requested, this Company will require an ALTA/NSPS LAND TITLE SURVEY. If the owner of the Land the subject of this transaction is in possession of a current ALTA/NSPS LAND TITLE SURVEY, the Company will require that said survey be submitted for review and approval; otherwise, a new survey, satisfactory to the Company, must be prepared by a licensed land surveyor and supplied to the Company prior to the close of escrow.

A Zoning Report will be required if a Zoning Endorsement is requested.

Table A 2021 Requirements 4, 6a, 7a, 7b1, 7c, 8, 9, 10, 11b, 16, 17, 18 and 20 (Height of the proposed improvements).

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

41. If Extended Coverage is requested, an inspection of said Land will be ordered; upon its completion the Company reserves the right to except additional items and/or make additional requirements.
42. The community interest of the spouse of the vestee named below.

Vestee: Shane Demirjian

The Company will require that the spouse of the vestee shown above join in any conveyance or encumbrance before such transaction will be insured.

**SCHEDULE B – Section B  
(continued)**

43. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below:

Name of Corporation: Clark County Property Management

- a) A Copy of the corporation By-laws and Articles of Incorporation
- b) An original or certified copy of a resolution authorizing the transaction contemplated herein
- c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

44. As of the date of this report, the Company has communicated with the Secretary of State of Nevada. The entity known as Clark County Property Management Is currently in good standing.
45. The transaction contemplated in connection with this Report is subject to the review and approval of the Company's Corporate Underwriting Department. The Company reserves the right to add additional items or make further requirements after such review.

**NOTE: ALL REQUIRED ITEMS MUST BE SUBMITTED AT LEAST ONE WEEK PRIOR TO CLOSING TO SUBMIT TO UNDERWRITING FOR TIMELY REVIEW.**

**END OF EXCEPTIONS**

**PLEASE REFER TO THE "NOTES" WHICH FOLLOWS FOR  
INFORMATION NECESSARY TO COMPLETE THIS TRANSACTION**

**NOTES**

1. EFFECTIVE JULY 1, 2003, ALL DOCUMENTS, EXCEPT MAPS, SUBMITTED FOR RECORDING WITH THE OFFICE OF THE CLARK/NYE COUNTY RECORDER, MUST COMPLY WITH NRS 247.110, AS FOLLOWS:
  - (a) Be on 20# paper that is 8 ½ inches by 11 inches in size;
  - (b) Have a margin of 1 inch on the left and right sides and at the top and bottom of each page;
  - (c) Have a space of 3 inches by 3 inches at the upper right corner of the first page and have a margin of 1 inch at the top of each succeeding page;
  - (d) Not contain printed material on more than one side of each page;
  - (e) Print that is NO smaller than 10 point Times New Roman font and contains no more than 9 lines of text per vertical inch; and
  - (f) MUST NOT be printed in any ink other than black.

ANY DOCUMENT NOT COMPLYING WITH THESE GUIDELINES WILL BE SUBJECT TO AN ADDITIONAL, MINIMUM COUNTY NON-CONFORMING RECORDING CHARGE OF \$25.00 PER DOCUMENT.

2. The information on the attached plat is provided for your convenience as a guide to the general location of the subject property. The accuracy of this plat is not guaranteed, nor is it a part of any policy, report or guarantee to which it may be attached.
3. PLEASE CONTACT THE ESCROW OFFICE FOR WIRING INSTRUCTIONS.

Escrow No.: NCS250843 - Fidelity National Title NCS Las Vegas, a division of FNT Agency of Nevada, Inc.  
Escrow Branch Address: 6385 S. Rainbow Blvd., Suite 130, Las Vegas, NV, 89118  
Escrow Branch Phone: 702-952-8227

4. Any documents being executed in conjunction with this transaction must be signed in the presence of an authorized Company employee, an authorized employee of an agent, an authorized employee of the insured lender, or by using Bancserv or other approved third-party service. If the above requirement cannot be met, please call the Company at the number provided in this report.
5. Your application for title insurance was placed by reference to only a street address or tax identification number. Based on our records, we believe that the legal description in this report covers the parcel(s) of Land that you requested. If the legal description is incorrect, the seller/borrower must notify the Company and/or the settlement company in order to prevent errors and to be certain that the correct parcel(s) of Land will appear on any documents to be recorded in connection with this transaction and on the policy of title insurance.
6. Due to the Nevada Supreme Court's interpretation of N.R.S. §116.3116 (2)(c) in SFR Investments Pool 1, LLC v. U.S. Bank, N.A. 334 P. 3d 408 (2014), the Company is unwilling to issue the ALTA 9-06 Endorsement, but instead will issue the ALTA 9.10-06 Endorsement. This does not apply to common interest communities that are not subject to N.R.S. §116.3116 (i.e. apartment complexes, commercial condominiums that are exempt or other commercial properties).
7. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.

**NOTES**  
**(continued)**

8. The Company and its policy issuing agents are required by Federal law to collect additional information about certain transactions in specified geographic areas in accordance with the Bank Secrecy Act. If this transaction is required to be reported under a Geographic Targeting Order issued by FinCEN, the Company or its policy issuing agent must be supplied with a completed ALTA Information Collection Form ("ICF") prior to closing the transaction contemplated herein.
9. Note: The last Document(s) purporting to transfer Title:
- Recording Date: July 27, 2006  
Recording No.: Book 20060727, [Instrument No. 0004714](#), of Official Records
- Recording Date: December 30, 2005  
Recording No.: Book 20051230, [Instrument No. 0006023](#), of Official Records
- Recording Date: January 22, 2007  
Recording No.: Book 20070122, [Instrument No. 0002788](#), of Official Records
- Recording Date: September 8, 2006  
Recording No.: Book 20060908, [Instrument No. 0000834](#), of Official Records
- Address: 5920 Boulder Hwy (ETAL), Las Vegas, NV 89122-7466
10. Notice: Please be advised that our search disclosed that the Land is vacant. The Company reserves the right to require further evidence to establish and verify the identity of the seller. The Company further reserves the right to make additional requirements or add additional items or exceptions upon receipt of the requested evidence.

**END OF NOTES**

## **Note: Notice of Available Title Insurance and Escrow Discounts**

Your transaction may qualify for one of the discounts shown below. In order to receive these discounts, you will need to contact your escrow officer or a company representative to determine if you qualify and to request the discount. Your escrow officer or company representative will provide a full description of the terms, conditions and requirements associated with each discount.

**Available Title Insurance Discounts (These discounts will apply to all transactions where the company is issuing a policy of title insurance, including such transactions where the company is not providing escrow closing services.)**

### **CREDIT FOR PRELIMINARY TITLE REPORTS AND/OR COMMITMENT CANCELLATION CHARGES ON SUBSEQUENT POLICIES**

Where an order was cancelled and no major change in the title has occurred since the issuance of the original report or commitment, and the order is reopened within twenty-four (24) – thirty-six (36) months, all or a portion of the charge previously paid upon the cancellation of the report or commitment may be credited on a subsequent policy charge.

### **SHORT TERM RATE**

The Short Term Rate is a reduction of the applicable insurance rate which is allowable only when the current order is placed within (sixty) 60 months from the date of issuance of a prior policy of title insurance to the vested owner or an assignee of the interest insured. The short term rate is 80% of the Basic Rate. Unless otherwise stated, the reduction only applies to policies priced at Eighty Percent (80%) or greater of the basic rate. This reduction does not apply to Short Sale transactions or to any surcharge calculated on the basic rate.

### **PRIOR POLICY DISCOUNT (APPLICABLE TO ZONE 2, DIRECT OPERATIONS ONLY)**

The Prior Policy Discount will apply when a seller or borrower provides a copy of their owner's policy upon opening escrow. The prior policy rate is Seventy Percent (70%) of the applicable owner's title premium. This discount may not be used in combination with any other discount and can only be used in transactions involving property located in Zone 2 (Zone 2 includes all Nevada counties except Clark, Lincoln and Nye) that are handled by a direct operation of the FNF Family of Companies.

### **CHURCHES OR CHARITABLE NON-PROFIT ORGANIZATIONS**

On properties used as a church or for charitable purposes within the scope of the normal activities of such entities the charge for a policy shall be Fifty Percent (50%) to Seventy Percent (70%) of the appropriate title insurance rate, depending on the type of coverage selected. This discount shall not apply to charges for loan policies issued concurrently with an owner's policy.

### **EMPLOYEE RATE**

No charge shall be made to employees of the Company, its subsidiary or affiliated companies (including employees on approved retirement) for policies issued in connection with financing, refinancing, sale or purchase of the employee's bonafide home property. Waiver of such charges is authorized only in connection with those costs which the employee would be obligated to pay, by established custom, as a party to the transaction.

### **INVESTOR RATE**

This rate is available for individuals, groups of individuals or entities customarily engaged in real estate investments. The parties must provide reasonable proof that they currently hold title to or have transferred title to three (3) or more investment properties in the State of Nevada within the past twelve (12) months to qualify for this rate. On a sale transaction, the investor rate is Seventy Percent (70%) of the basic rate. This reduction does not apply to any surcharge calculated on the basic rate. On a refinance transaction or where the investor is obtaining a loan subsequent to a purchase, the rate shall be Eighty-Five Percent (85%) of the applicable rate with a minimum charge of Three Hundred Eighty-Five and No/100 Dollars (\$385.00). The loan discount shall only apply to transactions priced under Section 5.1 B (1b) of the title insurance rate manual. This rate is available upon request only.

**Available Escrow Discounts These discounts will apply only to the escrow fee portion of your settlement charges, and the discounts will apply only if the company is issuing a policy of title insurance in conjunction with providing escrow services.**

### **SENIOR CITIZEN RATE**

If a valid identification is provided, principals to a given transaction who qualify as Senior Citizens (55 year of age and over) shall be Seventy-Five Percent (75%) of their portion of the escrow fee wherein a valid identification is provided.

This discount shall only apply on residential resale transactions wherein the principal resides in the subject property. This discount may not be used in combination with any other escrow rate discount. This rate is available upon request only.

#### **MILITARY DISCOUNT**

Any person on active military duty or a Veteran of the U.S. Armed Forces shall be charged Seventy-Five Percent (75%) of their portion of the escrow fee. A copy of a current military identification card or a copy of the DD-214 (Certificate of Release or Discharge from Active Duty) must be provided. This discount may not be used in combination with any other discount. This rate is for sale transaction and it is available upon request only.

#### **FIRST RESPONDER RATE**

Any person in a given transaction who is a First Responder shall be charged Seventy-Five Percent (75%) of their portion of the escrow fee, wherein the principle provides a signed statement that indicates he or she is currently employed as one of the following emergency professionals:

- Firefighter
- Law enforcement officer who is sworn to uphold and make arrests for violations of federal, state, county or municipal laws.
- EMT
- Paramedic
- Search & Rescue team member

The discount shall be applicable on residential resale transactions wherein the principal resides in, or plans to reside in, the subject property. This discount may not be used with any other discount and is available upon request only.

#### **EMPLOYEE RATES**

An employee will not be charged an escrow fee for the purchase, sale or refinance of the employee's primary residence. The employee must be a principal to the transaction and the request for waiver of fees must be submitted to Management prior to approval.

#### **INVESTOR RATE**

This rate is available for individuals, groups of individuals or entities customarily engaged in real estate transactions. The parties must provide reasonable proof that they currently hold title to or have transferred title to three (3) or more investment properties within the State of Nevada within the past twelve (12) months to qualify for this rate. The charge is 70% of their portion of the escrow fee. This discount may not be used in combination with any other discount. This rate is for sale transactions and it is available upon request, only.



Inquire before you wire!

## WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice.  
If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. **DO NOT** use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** **DO NOT** send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do **NOT** reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

**Federal Bureau of Investigation:**  
<http://www.fbi.gov>

**Internet Crime Complaint Center:**  
<http://www.ic3.gov>

## FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective January 1, 2025

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

### **Collection of Personal Information**

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g., Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g., loan or bank account information);
- biometric data (e.g., fingerprints, retina or iris scans, voiceprints, or other unique biological characteristics); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

### **Collection of Browsing Information**

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

### **Other Online Specifics**

**Cookies.** When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

**Web Beacons.** We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

**Do Not Track.** Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

**Links to Other Sites.** FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

## **Use of Personal Information**

FNF uses Personal Information for these main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To prevent and detect fraud;
- To maintain the security of our systems, tools, accounts, and applications;
- To verify and authenticate identities and credentials;
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.
- To provide reviews and testimonials about our services, with your consent.

## **When Information Is Disclosed**

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to affiliated or nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to affiliated or nonaffiliated third parties with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

## **Security of Your Information**

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

## **Choices With Your Information**

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

## **State-Specific Consumer Privacy Information:**

For additional information about your state-specific consumer privacy rights, to make a consumer privacy request, or to appeal a previous privacy request, please follow the link [Privacy Request](#), or email [privacy@fnf.com](mailto:privacy@fnf.com) or call (888) 714-2710.

Certain state privacy laws require that FNF disclose the categories of third parties to which FNF may disclose the Personal Information and Browsing Information listed above. Those categories are:

- FNF affiliates and subsidiaries;
- Non-affiliated third parties, with your consent;
- Business in connection with the sale or other disposition of all or part of the FNF business and/or assets;
- Service providers;
- Law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order.

**For California Residents:** We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website ([fnf.com/california-privacy](http://fnf.com/california-privacy)) or call (888) 413-1748.

**For Nevada Residents:** We are providing this notice pursuant to state law. You may be placed on our internal Do Not Call List by calling FNF Privacy at (888) 714-2710 or by contacting us via the information set forth at the end of this Privacy Notice. For further information concerning Nevada's telephone solicitation law, you may contact: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: [aginquiries@ag.state.nv.us](mailto:aginquiries@ag.state.nv.us).

**For Oregon Residents:** We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes. For additional information about your Oregon consumer privacy rights, or to make a consumer privacy request, or appeal a previous privacy request, please email [privacy@fnf.com](mailto:privacy@fnf.com) or call (888) 714-2710

FNF is the controller of the following businesses registered with the Secretary of State in Oregon:

Chicago Title Company of Oregon, Fidelity National Title Company of Oregon, Lawyers Title of Oregon, LoanCare, Ticor, Title Company of Oregon, Western Title & Escrow Company, Chicago Title Company, Chicago Title Insurance Company, Commonwealth Land Title Insurance Company, Fidelity National Title Insurance Company, Liberty Title & Escrow, Novare National Settlement Service, Ticor Title Company of California, Exos Valuations, Fidelity & Guaranty Life, Insurance Agency, Fidelity National Home Warranty Company, Fidelity National Management Services, Fidelity Residential Solutions, FNF Insurance Services, FNTG National Record Centers, IPEX, Mission Servicing Residential, National Residential Nominee Services, National Safe Harbor Exchanges, National Title Insurance of New York, NationalLink Valuations, NexAce Corp., ServiceLink Auction, ServiceLink Management Company, ServiceLink Services, ServiceLink Title Company of Oregon, ServiceLink Valuation Solutions, Western Title & Escrow Company

**For Vermont Residents:** We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

### **Information From Children**

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

### **International Users**

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

### **FNF Website Services for Mortgage Loans**

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

### **Your Consent To This Privacy Notice; Notice Changes**

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

**Accessing and Correcting Information; Contact Us**

If you have questions or would like to correct your Personal Information, visit FNF's [Privacy Request](#) website or contact us by phone at (888) 714-2710, by email at [privacy@fnf.com](mailto:privacy@fnf.com), or by mail to:

Fidelity National Financial, Inc.  
601 Riverside Avenue,  
Jacksonville, Florida 32204  
Attn: Chief Privacy Officer

# ATTACHMENT ONE

## ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (7-01-21) EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy and We will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
    - i. the occupancy, use, or enjoyment of the Land;
    - ii. the character, dimensions, or location of any improvement on the Land;
    - iii. the subdivision of land; or
    - iv. environmental remediation or protection.
  - b. any governmental forfeiture, police, or regulatory, or national security power.
  - c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.
- Exclusion 1 does not modify or limit the coverage provided under Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23, or 27.
2. Any power to take the Land by condemnation. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 17.
  3. Any defect, lien, encumbrance, adverse claim, or other matter:
    - a. created, suffered, assumed, or agreed to by You;
    - b. not Known to Us, not recorded in the Public Records at the Date of Policy, but Known to You and not disclosed in writing to Us by You prior to the date You became an Insured under this policy;
    - c. resulting in no loss or damage to You;
    - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 5, 8.f., 25, 26, 27, 28, or 32); or
    - e. resulting in loss or damage that would not have been sustained if You paid consideration sufficient to qualify You as a bona fide purchaser of the Title at the Date of Policy.
  4. Lack of a right:
    - a. to any land outside the area specifically described and referred to in Item 3 of Schedule A; and
    - b. in any street, road, avenue, alley, lane, right-of-way, body of water, or waterway that abut the Land.Exclusion 4 does not modify or limit the coverage provided under Covered Risk 11 or 21.
  5. The failure of Your existing structures, or any portion of Your existing structures, to have been constructed before, on, or after the Date of Policy in accordance with applicable building codes. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 14 or 15.
  6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transfer of the Title to You is a:
    - a. fraudulent conveyance or fraudulent transfer;
    - b. voidable transfer under the Uniform Voidable Transactions Act; or
    - c. preferential transfer:
      - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
      - ii. for any other reason not stated in Covered Risk 30.
  7. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.
  8. Negligence by a person or an entity exercising a right to extract or develop oil, gas, minerals, groundwater, or any other subsurface substance.
  9. Any lien on Your Title for real estate taxes or assessments, imposed or collected by a governmental authority that becomes due and payable after the Date of Policy. Exclusion 9 does not modify or limit the coverage provided under Covered Risk 8.a or 27.
  10. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

## LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

- For Covered Risk 16, 18, 19 and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	<u>Your Deductible Amount</u>	<u>Our Maximum Dollar Limit of Liability</u>
Covered Risk 16:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

**ATTACHMENT ONE  
(CONTINUED)**

**ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (12-02-13)  
EXCLUSIONS**

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
  - a. building;
  - b. zoning;
  - c. land use;
  - d. improvements on the Land;
  - e. land division; and
  - f. environmental protection.This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.
2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
4. Risks:
  - a. that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
  - b. that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
  - c. that result in no loss to You; or
  - d. that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28.
5. Failure to pay value for Your Title.
6. Lack of a right:
  - a. to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
  - b. in streets, alleys, or waterways that touch the Land.This Exclusion does not limit the coverage described in Covered Risk 11 or 21.
7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.
8. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake or subsidence.
9. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

**LIMITATIONS ON COVERED RISKS**

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

- For Covered Risk 16, 18, 19 and 21, Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	<u>Your Deductible Amount</u>	<u>Our Maximum Dollar Limit of Liability</u>
Covered Risk 16:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

# ATTACHMENT ONE (CONTINUED)

## ALTA OWNER'S POLICY (07-01-2021)

### EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
  - i. the occupancy, use, or enjoyment of the Land;
  - ii. the character, dimensions, or location of any improvement on the Land;
  - iii. the subdivision of land; or
  - iv. environmental remediation or protection.
- b. any governmental forfeiture, police, regulatory, or national security power.
- c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.  
Exclusion 1 does not modify or limit the coverage provided under Covered Risk 5 or 6.
2. Any power of eminent domain. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 7.
3. Any defect, lien, encumbrance, adverse claim, or other matter:
  - a. created, suffered, assumed, or agreed to by the Insured Claimant;
  - b. not Known to the Company, not recorded in the Public Records at the Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
  - c. resulting in no loss or damage to the Insured Claimant;
  - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 9 or 10); or
  - e. resulting in loss or damage that would not have been sustained if consideration sufficient to qualify the Insured named in Schedule A as a bona fide purchaser had been given for the Title at the Date of Policy.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transaction vesting the Title as shown in Schedule A is a:
  - a. fraudulent conveyance or fraudulent transfer;
  - b. voidable transfer under the Uniform Voidable Transactions Act; or
  - c. preferential transfer:
    - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
    - ii. for any other reason not stated in Covered Risk 9.b.
5. Any claim of a PACA-PSA Trust. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 8.
6. Any lien on the Title for real estate taxes or assessments, imposed or collected by a governmental authority that becomes due and payable after the Date of Policy. Exclusion 6 does not modify or limit the coverage provided under Covered Risk 2.b.
7. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

### EXCEPTIONS FROM COVERAGE

**Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This policy treats any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document are excepted from coverage.**

This policy does not insure against loss or damage and the Company will not pay costs, attorneys' fees, or expenses resulting from the terms and conditions of any lease or easement identified in Schedule A, and the following matters:

*NOTE: The 2021 ALTA Owner's Policy may be issued to afford either Standard Coverage or Extended Coverage. In addition to variable exceptions such as taxes, easements, CC&R's, etc., the Exceptions from Coverage in a Standard Coverage policy will also include the Western Regional Standard Coverage Exceptions listed as 1 through 7 below:*

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land or (b) asserted by persons or parties in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.
7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

# ATTACHMENT ONE (CONTINUED)

## 2006 ALTA OWNER'S POLICY (06-17-06)

### EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
  - (i) the occupancy, use, or enjoyment of the Land;
  - (ii) the character, dimensions, or location of any improvement erected on the Land;
  - (iii) the subdivision of land; or
  - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
  - (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
  - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
  - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
  - (c) resulting in no loss or damage to the Insured Claimant;
  - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
  - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
  - (a) a fraudulent conveyance or fraudulent transfer; or
  - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

### EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

*NOTE: The 2006 ALTA Owner's Policy may be issued to afford either Standard Coverage or Extended Coverage. In addition to variable exceptions such as taxes, easements, CC&R's, etc., the Exceptions from Coverage in a Standard Coverage policy will also include the Western Regional Standard Coverage Exceptions listed below as 1 through 7 below:*

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land, or (b) asserted by persons or parties in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.]
7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

**PRELIMINARY GEOTECHNICAL REPORT**



January 8, 2026  
P.N. No. CCRPM - 090125

Clark County, Department of Real Property Management  
Design and Construction Division  
500 S. Grand Central Parkway, 4<sup>th</sup> Floor  
Las Vegas, NV 89155-1825

Attention: Mr. Jordan Deja, Permit Coordinator

Subject: Preliminary Geotechnical Investigation for  
2.76 Acres located along Southwest Side of Boulder Highway  
Between Whitney Avenue and Nevada Way

Dear Mr. Deja,

As requested, Arroyo Engineering Consultants, Inc. (AEC) has completed the Preliminary Geotechnical Evaluation for the Subject project. The following Report summarizes our findings.

The professional opinions expressed in this report meet the standard of care of our profession. The test hole(s) for this study was located to obtain a reasonably accurate picture of subsurface soil conditions for design purposes consistent with our scope of work and budget. Variations can occur from the conditions encountered in the test holes. These variations are sometimes sufficient to necessitate modifications in the recommendations of this report and/or the structures design.

If unexpected conditions are observed during construction or in the event that any changes of the proposed structures are planned, we should be notified to review the recommendations contained in this report. Construction of foundations and placement and compaction of fill should be observed by a representative of our firm.

AEC appreciates the opportunity to be of service, if there are any questions regarding the recommendations in this report, please contact the undersigned at (702) 241-5339.

Respectfully Submitted:

A blue ink signature of Aaron C. Hastings is written over a circular professional seal. The seal contains the text "PROFESSIONAL ENGINEER - STATE OF NEVADA", "AARON C. HASTINGS", "EXP. 8/31/25", "CIVIL", and "No. 13185".

Aaron C. Hastings, P.E.  
Arroyo Engineering Consultants, Inc.

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<b>Figure 1</b>	Vicinity Map
<b>Figure 2</b>	Site Plan
<b>Figure 3</b>	Soils Guidelines Map
<b>Figure 4A</b>	Active Earth Pressures
<b>Figure 4B</b>	At-Rest Earth Pressures
<b>APPENDIX A</b>	Boring Logs
<b>APPENDIX B</b>	Laboratory Testing
<b>APPENDIX C</b>	ReMi Survey

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## **INTRODUCTION**

This report presents results of our Preliminary Geotechnical Evaluation for the property located on the southwest side of Boulder Highway north of Nevada Way and south of Whitney Avenue in Clark County, Nevada. The site is comprised of 9 separate parcels: 161-27-212-005 to 008, 161-27-311-001, 161-27-203-011 to 014. The project is in the jurisdiction of the Clark County Building Department and the applicable building code for this project is the 2024 International Building Code and the associated Amendments. The scope of our Preliminary Geotechnical evaluation is presented below.

## **PURPOSE AND SCOPE**

The purpose of our services was to perform a geotechnical exploration with the objective to provide preliminary geotechnical recommendations for the proposed improvements. The scope of our investigation included subsurface exploration, soil sampling, laboratory testing, and preparation of this report. Recommendations provided in this report are based upon our understanding of the project, field and laboratory investigations, and experience with similar projects.

Our investigation did not include any environmental sampling or testing at the site. It is our understanding that any site environmental considerations have been addressed by others and are not a part of the scope for this report.



## **PROJECT DESCRIPTION**

At the time of this investigation there is no site plan, however for purposes of this report the construction could consist of both concrete tilt up structures and standard wood frame/steel construction. It is anticipated that the structures will not exceed 3 stories in height and will not have any below grade levels. Preliminary perimeter foundation loads are anticipated to be on the order of 3 to 5 kips with isolated column loads on the order of 25 to 50 kips.

Once the final site plan is developed AEC should review this plan and if necessary additional explorations may be necessary to provide a final Geotechnical report.

The final site grades for the project are anticipated to be within 3 feet of the existing site grades. Any changes to the anticipated loads and/or site grade should be reviewed by the geotechnical engineer to evaluate the continued applicability of the recommendations contained in this report.



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## **SITE DESCRIPTION**

The site consists of a +/- 2.76 acres undeveloped property located between Boulder Highway and Clark Way and north of Nevada Way in Clark County, Nevada. The site location is shown on the attached Figure 1, Vicinity Map. At the time of our site visit the site had spread and dumped fills covering the entire site. Spread fills were noted to range from 1/2 a foot in depth to 3 feet at the locations explored. It is anticipated that deeper fills may be encountered at the site. Dumped fills ranged up to 3.5 feet in depth above the underlying spread fills. A power line easement runs down the center of the site. The site generally drains to the west and east by sheet flow.

Reviewing historical air photos from 1990 to present it appears that many of the lots (particularly along Boulder Highway) have previously been developed with varying structures. All of the lots are currently undeveloped, however, due to the extensive fills at the site, it is possible that remains of structures and associated improvements may still be on the site.



## **GEOLOGIC INFORMATION**

The site is located in the east portion of the Las Vegas Valley. This area is on alluvial remnants consisting of rocks and soils deposited by the outlying alluvial fans. The soils in this area generally consist of sands, gravels, silts and clays, pebbles, and cobbles. These soils are often found to have varying degrees of cementation.

Throughout the Las Vegas Valley there are several unclassified faults shown on the *Map of Faults and Earth Fissures in the Las Vegas Area* (C.M. DePolo and John W. Bell, 2000). The origin of these faults is uncertain and continues to be debated. The nearest mapped fault is located approximately 1 mile to the west of the site. The location of the fault was determined from the map "Map of Faults and Earth Fissures in the Las Vegas Area" by C.M. dePolo and John W. Bell in 2000. The location of this fault is not anticipated to adversely affect development at the site. During the site walk no features were observed that indicated faulting at the site, additionally no features were observed consistent with earth fissures. It is noted that the entire site has fill placed over the surface which may conceal these geologic features.

According to the IBC (2024) the Las Vegas Valley is located in a seismic considerations zone, which is considered to be a low-to-moderate seismic area.

The historical earthquake record for the Las Vegas area is characterized by infrequent earthquakes of relatively low magnitude. The major recorded earthquakes in the area have ranged between 4.0 and 5.0 Richter magnitude. Site specific seismic design criteria are located in the Recommendations section of this report.

The site is located in a “Special Geotechnical Considerations Area” on the Clark County Soils Guidelines Map (most current is Revision 2, 2-7-2013) as shown on Figure 3. The following table identifies the specific geotechnical considerations for this site.

### SPECIAL GEOTECHNICAL CONSIDERATION SUMMARY

Condition mapped at site	Special Geotechnical Consideration Description
No	Steep Slopes (greater than 15 percent) and shallow bedrock
No	Subsidence and 2000-foot compaction or seismic fault buffer zone
Yes	Potential drainage areas or recent sediment deposits. May also have solubility, clay swell, corrosion, gypsum salt, expansive or hydro-collapsible potential.
Yes	Solubility, clay swell, corrosion, gypsum salt, expansive or hydro-collapsible potential.

Based on the results of our investigation along with our experience in the area, the potential for faulting related surface rupture at this site is considered to be low.

A screening for potential Liquefaction Hazards indicate that due to the shallow ground water at the site (less than 50 feet below the surface) along with some low-density soils may have a moderate risk of Liquefaction. It is recommended that once the site is planned for construction a detailed Liquefaction Analysis be performed.



### FIELD INVESTIGATION

Subsurface conditions were investigated by excavating 4 borings at the location shown on attached Site Plan, Figure 2. The borings were advanced to depths of 15 to 50 feet below the existing ground surface using a truck mounted hollow stem auger drill. Relative density/consistency of the soils was evaluated during drilling using a 2 inch outside diameter sampler (Split Spoon) driven with a 140-pound hammer dropping 30 inches (SPT testing per ASTM D1586). The Boring logs for these explorations are attached in Appendix B (Borings B-1 to B-4).

In areas where coarse dense and/or cemented soils are encountered, sampling using the methods described above does not provide representative samples, and in these areas other sampling methods are often used, including obtaining bulk samples of drill cuttings. The soil samples encountered were classified in the field and through further examination in the laboratory in general accordance with the Unified Soils Classification System (ASTM D2488).



**LABORATORY TESTING**

Laboratory tests were conducted on samples considered representative for the purpose of classification and to determine pertinent physical and engineering properties. These tests include Moisture Content, Sieve Analysis, Plasticity Index, Swell Potential, Solubility and Soil Chemical analysis. Test results are summarized in the following table and/or are presented on the attached Boring Logs. Copies of the laboratory testing is attached in Appendix B.

**SOIL CORROSIVITY AND SOLUBILITY SUMMARY**

<b>Sample Location</b>	<b>Test Performed/Method</b>	<b>Result</b>	<b>Notes</b>
B-1 @ 5' to 10' Bulk	Soluble Sulfates- SM4500 E	1.26%	<b>Exposure Class S2*</b>
	Solubility	1.48%	<b>Low/Moderate</b>
B-3 @ 5' to 10' Bulk	Soluble Sulfates- SM4500 E	1.34%	<b>Exposure Class S2*</b>
	Solubility	1.58%	<b>Low/Moderate</b>
B-4 @ 5'	Soluble Sulfates- SM4500 E	1.1%	<b>Exposure Class S2*</b>
	Solubility	1.46%	<b>Low/Moderate</b>
*ACI 318 Table 19.3.1.1, Solubility 2018 SNBCA Table 1804.4.1 AEC designates "Moderate Soluble soils as soils having a Solubility > 1%.			

### SIEVE ANALYSIS

U.S. Standard Sieve	Percent Finer by Weight			
	B-1 @ 5' to 10' Bulk	B-3 @ 5' to 10' Bulk	B-4 @ 5'	Not Used
1"	100	100	100	
1/2"	99	100	96	
#4	91	100	92	
#16	81	99	88	
#50	73	91	82	
#100	58	76	73	
#200	41	55	58	
Plasticity Index (PI)	LL=25, PL=19, PI=6	LL=29, PL=22, PI=7	LL=26, PL=17, PI=9	
Classification	SC/SM – Silty Clayey Sand	CL – Sandy Silty Clay	CL – Sandy Lean Clay	

### SWELL TEST SUMMARY

Sample Location	Test Performed/Method	Result	Notes
B-1 @ 5' to 10' Bulk	Swell per SNA 1803.5.3.2, 60 PSF, oven dried	<b>14.4%</b>	<b>CRITICAL Expansion</b>
B-3 @ 5' to 10' Bulk		<b>18.8%</b>	<b>CRITICAL 16 Expansion</b>
B-4 @ 5'		<b>21.1%</b>	<b>CRITICAL 20+ Expansion</b>



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## **SUBSURFACE CONDITIONS**

The following summary is based on the subsurface conditions observed at the locations explored. The entire site was found to have uncontrolled fills spread over all the areas planned for improvement. Based on the information from our site visit, this fill was observed to range in depth up to approximately 3 feet. Deeper and more extensive spread fills may be present at the site. Additionally, dumped fills were observed at the site on top of the spread fills with depths up to 3.5 feet.

Aerial photographs show that several structures were present at the site in the past. It is unknown whether these structures were fully removed or if there are remaining concealed structures and associated improvements. It is anticipated that remaining improvements may include utilities, leach fields and wells.

The contractor should evaluate the site for the actual lateral extent and depths of uncontrolled fills, as well as possible remaining structures. All uncontrolled fills (including those related to previous improvements) will need to be removed from the areas proposed for improvements.

The near native soils at the site (underlying the uncontrolled fills) were predominantly clayey sands to sandy clays with varying amounts of gravel sized materials. Small amounts of gypsum was observed in the samples. The native soils were found to be Critically Expansive and Severely Corrosive to concrete (including masonry) and metals. The native soils generally were found to be loose to dense (firm to stiff). The soils generally became more clayey with depth.

Cemented Hard materials were not encountered during our investigation; however, it is well known that cemented hard materials can vary in depth, thickness, hardness, and lateral extent across a site.

Groundwater was encountered in all of the borings. During drilling, the ground water was encountered around a depth of 12 feet below the existing grade. It is anticipated that the ground water will fluctuate with seasonal effects and may be as much as 4 feet higher or lower. Given the relatively shallow depth of the ground water, along with soft/saturated and unstable soils when near the ground water, temporary dewatering and ground stabilization at the site will likely be required during construction.



## **RECOMMENDATIONS**

### **General**

Based on our field and laboratory investigation, the site is suitable for future improvements. In general, the site improvements will have to address:

- **Shallow spread uncontrolled fills noted up to 3 feet at the locations explored, additionally dumped fills up to 3.5 feet on top of the spread fills. All uncontrolled fills will require removal/processing prior to use. In addition, previous structures were observed at the site, these structures and related improvements may still have potential to be exposed when the uncontrolled fills are removed and will require removal/abandonment.**
- **Near surface Critically Expansive soils were identified at the site. These soils are not suitable for use in support of future improvements and will require special earthwork requirements.**
- **Near surface groundwater along with soft unstable soils will require temporary dewatering along with stabilization when excavations approach the ground water table.**
- **Potentially Liquefiable soils were encountered during the subsurface investigation. If during final layout of the site these soils are identified within structure areas, additional earthwork and/or foundation recommendations may be necessary.**

Based on laboratory test results of the samples obtained during our field investigation, the near surface native soils are considered to be Critically Expansive and possess concentrations of soluble sulfates considered as having Severe corrosion potential for concrete and masonry. The design and construction at this site shall conform to the requirements of the 2024 International Building Code and/or the “Southern Nevada Building Amendments to the 2024 International Building Code” and to the specific recommendations contained in this report.

### **Seismic Design Criteria**

The following summarize the site-specific Seismic Design Criteria for this site.

#### **2024 IBC SEISMIC DESIGN CRITERIA**

A. Approximate Site Location: Latitude 36.09364, Longitude -115.04404			
B. Site Class: D (See ReMi Survey Appendix C)			
C. Mapped Spectral Acceleration Values			
	0.2 sec	Ss = 0.53 (g)	
	1.0 sec	S1 = 0.16 (g)	

D. Spectral Response Accelerations			
	0.2 sec	SMs = 0.71 (g)	[1.5 X SDs]
	1.0 sec	SM1 = 0.43 (g)	[1.5XSD1]
E. Design Spectral Response Accelerations			
	0.2 sec	SDs = 0.47 (g)	
	1.0 sec	SD1 = 0.29 (g)	
Seismic Accelerations from ASCE 7-22, Site Location estimated from Google Earth			

## Earthwork Recommendations

### Site Clearing and Excavations

Before fill placement begins, all vegetation, organic material, debris, and uncontrolled fill soils should be removed from within the proposed structure areas and areas to receive pavements and/or structural fill. Uncontrolled fill refers to any fill that was not observed and tested during placement. Native soils that have low in-place densities should also be removed to expose medium dense or firm native materials.

### Uncontrolled Fill

As previously discussed, uncontrolled fills are present at the site. Uncontrolled fills are considered unsuitable for support of any structure and should be removed in areas for new improvements. The entire site was found to have spread uncontrolled fills across it, these fills were noted to depths of up to 3 feet, however deeper fills could be located between the locations explored. Additionally, the site had dumped fills located on top of the spread fills over most of the site. Dumped fills were noted up to 3.5 feet in height. All uncontrolled fills will be required to be removed from areas proposed for improvements, including structure areas, areas for pavements and areas for exterior flatwork. The contractor shall evaluate the site to identify the final depths of uncontrolled fills prior to construction. As noted, some previous structures were observed at the site. If remnants of these structures and related improvements (utilities) they will require removal. Some of the uncontrolled fills may be suitable for use as structural fill once cleaned of any debris and oversized materials. Any uncontrolled fills proposed for use as structural fill shall be stockpiled once prepared such that they can be tested for compliance with the structural fill requirements prior to their use as fill.

After performing required excavations, the exposed soils should be observed to verify removal of all unsuitable deposits. Exposed soils, in areas to receive fill (minimum fill depth of 3 feet), should then be scarified to a depth of 12 inches, moisture conditioned or dried as necessary and compacted as recommended in the Fill Placement and Compaction section of this report.

## Overexcavation

In order to provide more uniform bearing the area of proposed new slab on grade and/or new foundations (including retaining walls) should be overexcavated sufficiently to provide a minimum of 40 inches of Structural Fill below the new foundations and slabs. Flatwork and paved areas shall be overexcavated sufficiently to provide a minimum of 2 feet of Structural Fill below. All overexcavations shall be laterally overexcavated on all sides a minimum 5 feet. Transitions between fill areas shall be at a 2:1 (H:V) slope or flatter.

After removal of the uncontrolled fills and required over excavations, the exposed bottom should be scarified a minimum of 8 inches, moisture conditioned and compacted as detailed in the Fill Placement and Compaction section.

The overexcavated areas should than be returned to the final grades using Structural Fill in accordance with the Fill Placement and Compaction section of this report.

Prior to structural fill placement, the overexcavated areas should be observed by a Geotechnical Engineer or their representative.

## Fill Materials

### Structural Fill

Structural Fill is fill material used for support of structures, including foundations, slab on grade, retaining walls, and paved areas. Structural fills should meet the requirements of Imported fills as detailed below. It should be noted that the near surface native onsite soils do not appear to meet the requirements for Structural Fill.

All proposed materials for use as Structural Fill should be stockpiled onsite and approved by the Geotechnical Engineer prior to their use.

### Imported Fill

For this project, Imported Fill soils should consist of granular materials that are; low expansive (less than 4% in accordance with SNBCA 1808.6.1.1), soluble sulfates exposure not exceeding S2 (ACI 318-14 Table 19.3.1.01), low soluble materials (less than 2% per SNBCA 1808.04.4.1) that are reasonably well graded from coarse to fine. Maximum of 35 percent passing the -200 sieve and 100 percent passing the 6-inch sieve.

### Other Fill Materials

Should conform to the specifications stated in the Uniform Standard Specifications for Public Works Construction, Off-Site Improvements, Clark County Area, Nevada, or as approved by the Geotechnical Engineer.

## Fill Placement and Compaction

All fill materials should be moisture conditioned or dried as required, evenly spread on a horizontal plane in 8-inch loose lifts and compacted to the following:

Fill materials placed within structural areas should be compacted to a minimum of 95 percent of maximum dry density and within 2 percent of the optimum moisture content as determined by ASTM D1557.

Scarified native and/or existing Structural Fill soils should be compacted to a minimum of 90 percent of maximum dry density and a minimum of at least 2 percent over optimum moisture content as determined by ASTM D1557.

## Testing and Inspection Requirements for Soils

Scarified native soils and each 8-inch lift of the structural fill material should be tested for compliance to the required compaction and moisture content prior to proceeding with the next lift of material.

A minimum of 1 test for each 10,000 square feet or portion thereof. Field compaction testing shall be done using nuclear methods in accordance with ASTM D2922.

Inspection requirements for the soils should be Continuous (4B) per 2018 IBC Table 1705.6.

## **Foundations – Conventional Concrete**

After the earthwork recommendations have been met, foundations as described below for the structures established on properly placed structural fill may be designed for a maximum allowable soil bearing pressure of 2,000 pounds per square foot based upon dead load plus long-term live load. A one-third increase in allowable bearing pressure may be used for short duration loads, such as wind or seismic loads. Foundations should be a minimum of 12 inches in width and embedded a minimum of 18 inches below the lowest adjacent grade.

Lateral support for the foundations will be provided by a combination of friction along the base and passive resistance of the adjacent soils. Friction along the base of the footings may be computed using an allowable coefficient of friction of 0.35 with the normal dead load. An allowable lateral passive earth pressure may be computed using an equivalent fluid weighing 250 pounds per cubic foot for footing cast against firm native soils and/or properly compacted fill.

The maximum net allowable passive pressure for shallow footing may not exceed 2,000 pounds per square foot. Passive pressures in the upper 12 inches should be neglected unless confined by concrete slab on grade.

As an alternate, AEC can provide Post Tensioned Slab recommendations if requested.

**All foundation systems should be designed by a Nevada Registered Structural Engineer.**

### **Settlements**

Total settlement for structures, placed in accordance with the recommendations herein, should be on the order of 1 inch, with differential settlements on the order of 1/2-inch in 25 feet.

### **Concrete Floor Slabs and Flatwork**

Concrete floor slabs and exterior flatwork should be supported by a minimum 6-inch layer of Type II Aggregate Base. The Aggregate Base Course should be compacted to a minimum 95 percent of dry density tested according to ASTM D1557. Moisture content at placement should be within 2 percent of optimum moisture content.

A moisture barrier shall be provided beneath the concrete floor slabs and should consist of a visqueen (polyethylene) membrane covered by a 2-inch minimum sand backfill blanket to deter punctures and aid in concrete cure. The membrane should be visqueen with a minimum 15-mil thickness. All joints shall lap a minimum of 6 inches. All concrete placements and curing operations should be performed in accordance with the American Concrete Institute (ACI) Manual of Concrete Practice.

### **FLEXIBLE PAVEMENTS – PARKING AREAS**

New parking and drive lane areas will require overexcavation as shown in the following pavement section. The following sections are preliminary and based on a minimum soils R value of 20. The exposed subgrade shall be proof rolled prior to placement of fill.

**Table 1: Pavement Section**

<b>Roadway Type</b>	<b>Asphalt Concrete Inches</b>	<b>Type II Base Inches</b>	<b>Type I Base Inches*</b>
Onsite Parking	3	4	24
Onsite Drive Lanes	3.5	6	24

Notes: \* Materials meeting Structural Fill requirements may be substituted for Type I Base.

Asphalt and base course aggregate materials shall conform to the requirements of the applicable *Uniform Standard Specifications for Offsite Improvements, Clark County, Nevada*.

---

## RETAINING STRUCTURES/LATERAL LOADS

**Cantilevered retaining walls:** less than 10 feet in retained height with level backfill, no surcharge load and no seepage or groundwater, should be designed to resist backfill soil pressures in the active earth pressure state. (This assumes that the top of the wall is capable of some movement following backfill). Refer to Figure 4A Active Earth Pressures for more details.

In locations of restrained wall corners the use of At Rest Pressures (see below for Restrained Walls) should be applied to the wall for a distance of 2 times the height of the wall in each direction.

For design purposes, a backfill soil pressure equivalent to that developed by a fluid with a density of 40 pounds per cubic foot would be appropriate for granular free draining backfill.

When surcharge loads ( $q$ ) are located on top of the wall within a distance less than the height of the wall, the additional lateral load on the wall can be calculated as  $P_q = q * 0.30$ .

Seismic loads to be applied to the wall shall be done in accordance with the 2018 Southern Nevada Building Code Amendments Section 1610.1.1 Equation 16-35a.

Horizontal loads acting on foundations on properly placed structural fill will be resisted by friction along the base of the footing and the passive earth pressures against the loaded side of the footings. Where passive pressure is needed for footings to resist horizontal loads, the backfill must be observed and tested for compliance with the requirements of structural fill.

Friction along the base of the footings may be computed using an allowable coefficient of friction of 0.35 with the normal dead load. An allowable lateral passive earth pressure may be computed using an equivalent fluid weighing 250 pounds per cubic foot, for footing cast against dense native soils and/or properly compacted fill. The maximum net allowable passive pressure for shallow footing may not exceed 2,000 pounds per square foot. Passive pressures in the upper 12 inches should be neglected unless confined by concrete slab on grade. Backfill behind the wall should be compacted to no less than 85 percent and no more than 90 percent of ASTM D1557. Backfill should not be used to support structures.

**Restrained Retaining Walls:** less than 10 feet in retained height with level backfill, no surcharge load and no seepage or groundwater, should be designed to resist backfill soil pressures in the at rest earth pressure state. (This assumes that the top of the wall is NOT capable of movement following backfill.) Refer to Figure 4B At Rest Lateral Earth Pressures for more details.

For design purposes, a backfill soil pressure equivalent to that developed by a fluid with a density of 65 pounds per cubic foot would be appropriate for granular free draining backfill.

When surcharge loads ( $q$ ) are located on top of the wall within a distance less than the height of the wall, the additional lateral load on the wall can be calculated as  $P_q = q \cdot 0.50$ .

If Seismic loads are to be applied to the wall this shall be done in accordance with the 2018 Southern Nevada Building Code Amendments Section 1610.1.1 Equation 16-35b.

Horizontal loads acting on foundations on properly placed structural fill will be resisted by friction along the base of the footing and the passive earth pressures against the loaded side of the footings. Where passive pressure is needed for footings to resist horizontal loads, the backfill must be observed and tested for compliance with the requirements of structural fill.

Friction along the base of the footings may be computed using an allowable coefficient of friction of 0.35 with the normal dead load. An allowable lateral passive earth pressure may be computed using an equivalent fluid weighing 250 pounds per cubic foot, for footing cast against dense native soils and/or properly compacted fill.

The maximum net allowable passive pressure for shallow footing may not exceed 2,000 pounds per square foot. Passive pressures in the upper 12 inches should be neglected unless confined by concrete slab on grade. Backfill behind the wall should be compacted to no less than 85 percent and no more than 90 percent of ASTM D1557. Backfill should not be used to support structures.

All retaining walls shall be waterproofed and provided with appropriate drainage systems. Back drains and/or weep holes shall be used. The retaining wall drainage system shall be designed by an experienced civil/structural engineer.

### **SUBSURFACE EXCAVATION AND STABILITY**

Based on materials encountered during our field exploration, the near surface (less than 5 feet) native non-cemented materials located on the site should not require special excavation methods. All excavations shall be constructed in accordance with the applicable OSHA requirements.

It is our experience that the lateral extent, depth, thickness and hardness of cemented materials can vary between the areas explored for this study. Contractors should satisfy themselves to the excavatability of the onsite materials prior to construction.

Temporary dewatering will be necessary for deeper excavations. The temporary dewatering system shall be developed by an engineer familiar with these systems. It is strongly recommended that the contractor perform test excavation to evaluate the wall and subgrade instability.

### **Subgrade Instability:**

Subsurface soils (particularly when close to the ground water elevation) were noted to have high natural moisture contents and soft to firm (loose to medium dense) consistency. These soils can be prone to instability during construction. The common methods of stabilizing these types of soils include working coarse crushed aggregates into the soft yielding soils to create a stable platform and/or using a Geogrid.

If coarse crushed aggregate is selected, the materials shall be a clean crushed coarse aggregate with nominal diameter of 3 to 6 inches. Materials shall be uniformly spread over the area of the yielding subgrade and worked into the surface to achieve a stable base.

If a Geogrid is selected, the grid shall conform to Tensar NX650, NX750 or NX850 or equivalent. The Geogrid shall be installed per the manufacturer's recommendations. Fills placed in the first 12 inches above Geogrid shall be screened over a 1.5 inch screen (or Type I aggregate base material conforming to Clark County Uniform Standard Specifications for Public Works Construction, Off-Site Improvements section 704.03.03 - 2 Inch).

### **SURFACE DRAINAGE AND MOISTURE PROTECTION**

Positive drainage should be established away from the exterior walls of structures and maintained throughout the life of the structure. The recommended minimum slope is 5% for the first 10 feet when soils are exposed, and 2% for hardscape (concrete or asphalt). No watering should be established within 5 feet of structures. Roof down spouts and other water collection systems should discharge a minimum distance of 5 feet from the exterior building walls.

All utility trenches should be backfilled with compacted fill for a minimum distance of 5 feet beyond the structure footings. Utility backfill should be compacted to a minimum of 90 percent of ASTM D1557 and within 2 percent of optimum moisture content.

### **SOIL CORROSIVITY**

A laboratory test on soil samples selected as representative possess concentrations of water-soluble sulfates considered to be SEVERE when exposed to concrete. As such, we recommend that all concrete in contact with soil be designed to meet the requirements for SEVERE Sulfate exposure. We recommend a Type V or equivalent sulfate resistant cement for all concrete.

Concrete mixes should be designed in accordance with ACI 318-14 Table 19.3.1.01 Sulfate Exposure S2 for SEVERE exposure. All metals in contact with the native soils should be provided appropriate corrosion protection as determined by a corrosion engineer.

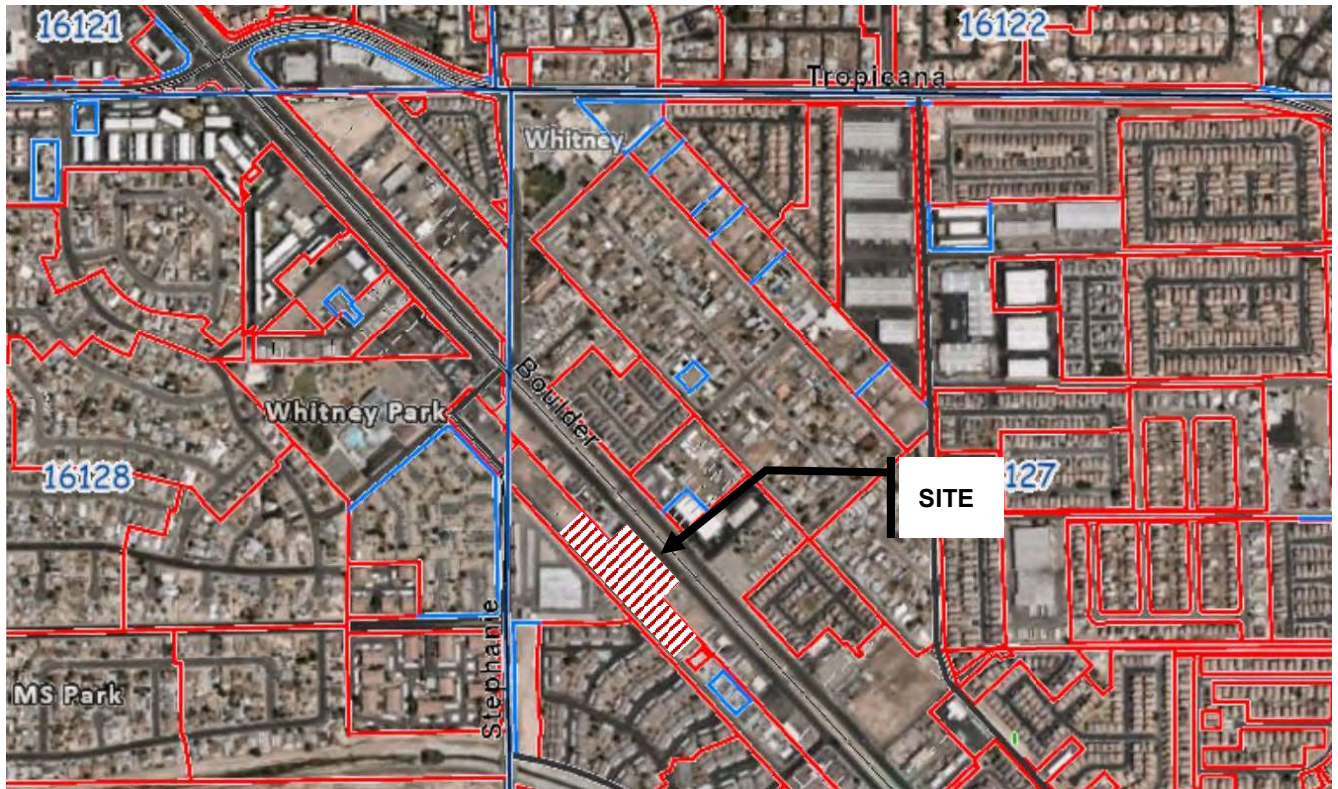


Photo from Clark County Assessors



**Vicinity Map**  
+/-2.76 Acres West of Boulder Highway and  
North of Nevada Way  
Clark County, Nevada  
Clark County Department of Real Property

DATE: 01/2026  
CCRPM-090125

FIGURE 1

↑ NORTH  
N.T.S.

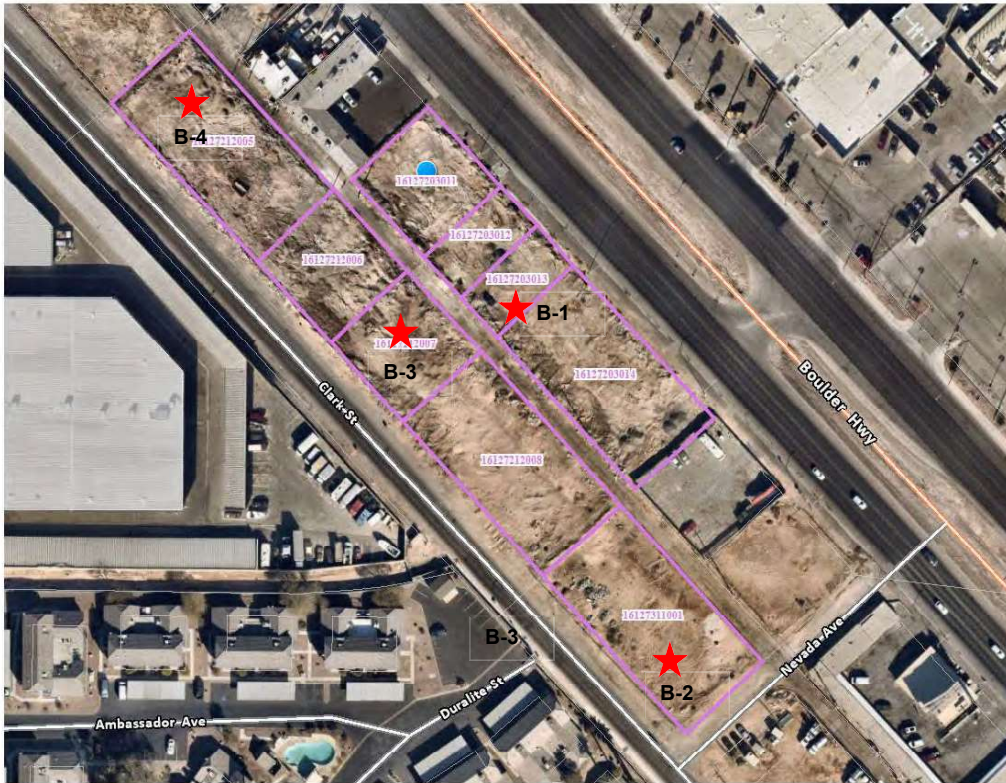


Image: Clark County Assessors

★ Approximate Boring Location

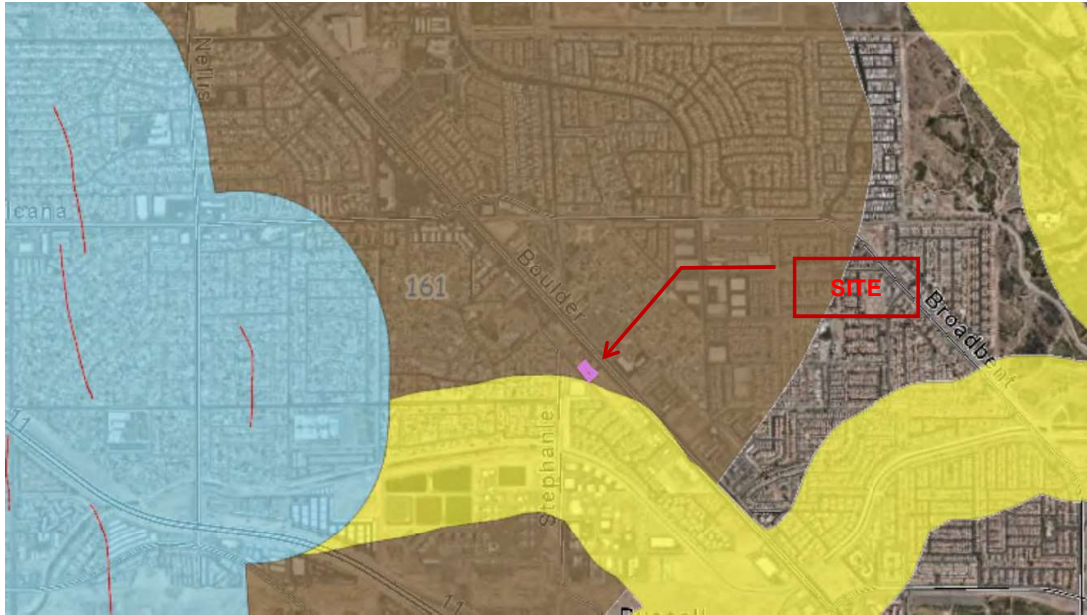


**Site Plan**  
 +/-2.76 Acres West of Boulder Highway and  
 North of Nevada Way  
 Clark County, Nevada  
 Clark County Department of Real Property

DATE: 01/2026  
 CCRPM-090125

FIGURE 2

↑ NORTH  
 N.T.S.



- Special geotechnical consideration area. Steep slopes (greater than 15%) and shallow bedrock.
- Special geotechnical consideration area. Subsidence and 2,000 foot compaction or seismic fault buffer zone (includes 90% of mapped fissures).
- Special geotechnical consideration area. Potential drainage areas or recent sediment deposits. May also have solubility, clay swell, corrosion, gypsum salt, expansive or hydro-collapsible potential.
- Special geotechnical consideration area. Solubility, clay swell, corrosion, gypsum salt, expansive or hydro-collapsible potential.
- Standard geotechnical consideration area. Mixed alluvial sand and gravel.
- Faults, Inferred Faults, Concealed Faults

Image from Clark County Soils Guidelines Map 2013

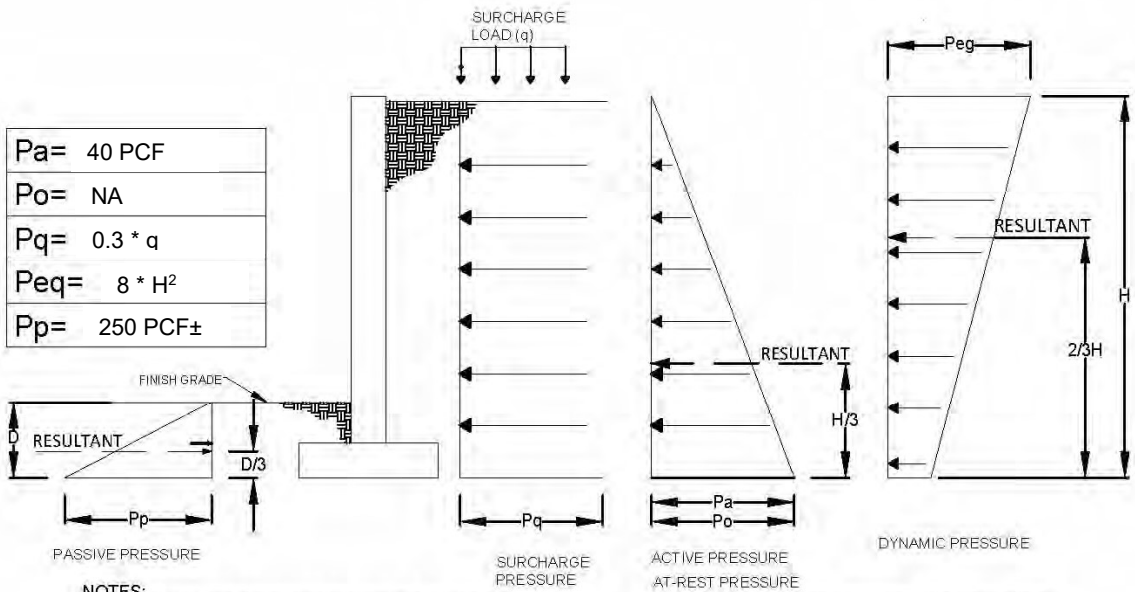


**Soils Guidelines Map**  
 +/-2.76 Acres West of Boulder Highway and  
 North of Nevada Way  
 Clark County, Nevada  
 Clark County Department of Real Property

DATE: 01/2026  
 CCRPM-090125

FIGURE 3

↑  
 NORTH  
 N.T.S.



NOTES:  
 ASSUMES NO HYDROSTATIC PRESSURE BUILD-UP  
 BEHIND THE RETAINING WALL. GRANULAR BACKFILL MATERIALS SHOULD BE  
 USED FOR RETAINING WALLS. DRAINAGE PER GEOTECHNICAL REPORT.

LATERAL EARTH PRESSURES  
 RETAINING WALLS

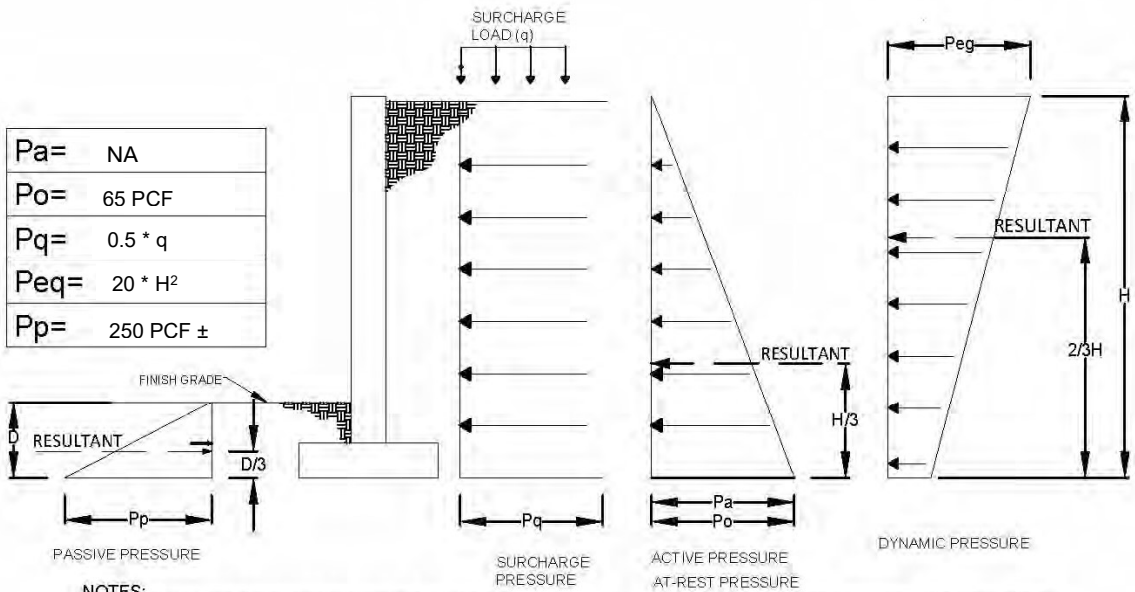
± Ignore top 12" Unless confined by slab on grade.



**ACTIVE LATERAL EARTH PRESSURES**  
 +/-2.76 Acres West of Boulder Highway and  
 North of Nevada Way  
 Clark County, Nevada  
 Clark County Department of Real Property

DATE: 01/2026  
 CCRPM-090125

FIGURE 4A



NOTES:  
 ASSUMES NO HYDROSTATIC PRESSURE BUILD-UP  
 BEHIND THE RETAINING WALL. GRANULAR BACKFILL MATERIALS SHOULD BE  
 USED FOR RETAINING WALLS. DRAINAGE PER GEOTECHNICAL REPORT.

LATERAL EARTH PRESSURES  
 RETAINING WALLS

± Ignore top 12" Unless confined by slab on grade.



**AT - REST LATERAL EARTH PRESSURES**  
 +/-2.76 Acres West of Boulder Highway and  
 North of Nevada Way  
 Clark County, Nevada  
 Clark County Department of Real Property

DATE: 01/2026  
 CCRPM-090125

FIGURE 4B

**APPENDIX A**  
**BORING LOGS**



**PROJECT:** Boulder Hwy - 9 - Parcels **PROJECT NO.:** CCRPM-0905  
**CLIENT:** Clark County Real Property Management  
**PROJECT LOCATION:** Boulder Hwy and Nevada Way (NWC)  
**LOCATION:** See Site Plan  
**NORTHING:** 36.09380 **EASTING:** -115.04370 **ELEVATION:** 1661 MSL  
**DRILLER:** BC2 Drilling **LOGGED BY:** AEC  
**DRILLING METHOD:** Truck CME 85 with HSA **DATE:** 12-12-2025  
**DEPTH TO - WATER> INITIAL:**  $\nabla$  13 **AFTER 24 HOURS:**  $\nabla$  **CAVING>** C NA

# LOG OF BORING No. B-1

This information pertains only to this boring and should not be interpreted as being indicative of the site.

Elevation (feet)	Depth (feet)	USCS	Description	Graphic	Sample No.	Blow Counts	% < #200	TEST RESULTS	
								Plastic Limit	Liquid Limit
	0		Fill: Spread and dumped fill, construction debris, trash, spread to 1', dumped to 3 feet.						
1660	2.5	SM	Silty SAND, brown, moist, medium dense, little gypsum and gravel, sand if fine.						
1657.5	5	SC-SM	Clayey SAND, brown, moist, medium dense, little organics Bulk Sample 5 to 10 feet Little more gravel below 6 feet.		1	2 4 5			
1655	7.5								
1652.5	10	CL	Silty/Sandy CLAY, gray, firm to stiff, moist to very moist, trace gravel, clay is medium plastic, sand is fine Swell = 14.4%		2	7 9 7	41		
1650	12.5		Initial Ground Water during drilling.						
1647.5	15		Continue Clay		3	5 8 5			
1645	17.5								

All samples SPT in accordance with ASTM D1586, Backfilled with cement following drilling.



# LOG OF BORING No. B-1

**PROJECT:** Boulder Hwy - 9 - Parcels **PROJECT NO.:** CCRPM-0905  
**CLIENT:** Clark County Real Property Management  
**PROJECT LOCATION:** Boulder Hwy and Nevada Way (NWC)  
**LOCATION:** See Site Plan  
**NORTHING:** 36.09380 **EASTING:** -115.04370 **ELEVATION:** 1661 MSL  
**DRILLER:** BC2 Drilling **LOGGED BY:** AEC  
**DRILLING METHOD:** Truck CME 85 with HSA **DATE:** 12-12-2025  
**DEPTH TO - WATER> INITIAL:** 13 **AFTER 24 HOURS:** 13 **CAVING>** C NA

This information pertains only to this boring and should not be interpreted as being indicative of the site.

Elevation (feet)	Depth (feet)	USCS	Description	Graphic	Sample No.	Blow Counts	% < #200	TEST RESULTS	
								Plastic Limit	Liquid Limit
1642.5									
	20	CL-CH	Sandy CLAY, brown, wet, firm, sand is fine, fines are medium to high plastic PP = 2.0 TSF		4	3 5 5			
1640									
	22.5								
1637.5									
	25								
1635									
	27.5								
1632.5									
	30	SC/CL	Clayey SAND, brown, dense, wet, sand is fine, fines are medium plastic, trace gravel PP = 1.5 TSF		5	5 9 10			
1630									
	32.5								
1627.5									
	35		Drilling more stiff						

All samples SPT in accordance with ASTM D1586, Backfilled with cement following drilling.



# LOG OF BORING No. B-1

**PROJECT:** Boulder Hwy - 9 - Parcels **PROJECT NO.:** CCRPM-0905  
**CLIENT:** Clark County Real Property Management  
**PROJECT LOCATION:** Boulder Hwy and Nevada Way (NWC)  
**LOCATION:** See Site Plan  
**NORTHING:** 36.09380 **EASTING:** -115.04370 **ELEVATION:** 1661 MSL  
**DRILLER:** BC2 Drilling **LOGGED BY:** AEC  
**DRILLING METHOD:** Truck CME 85 with HSA **DATE:** 12-12-2025  
**DEPTH TO - WATER> INITIAL:** 13 **AFTER 24 HOURS:** NA **CAVING>** C NA

This information pertains only to this boring and should not be interpreted as being indicative of the site.

Elevation (feet)	Depth (feet)	USCS	Description	Graphic	Sample No.	Blow Counts	% < #200	TEST RESULTS	
								Plastic Limit	Liquid Limit
1625									
	37.5								
1622.5									
	40		Continue SC/CL, Fines medium to high plastic			4 6 12			
1620					6				
	42.5								
1617.5									
	45								
1615									
	47.5	GC/SC	Clayey SAND/GRAVEL, brown, dense, wet, sand is medium, clay is medium to high plastic		47				
1612.5									
	50		Boring terminated at 50 ft. Backfilled with Concrete.			20 27 15			
1610					7				
	52.5								
1607.5									

All samples SPT in accordance with ASTM D1586, Backfilled with cement following drilling.



# LOG OF BORING No. B-2

**PROJECT:** Boulder Hwy - 9 - Parcels **PROJECT NO.:** CCRPM-0905  
**CLIENT:** Clark County Real Property Management  
**PROJECT LOCATION:** Boulder Hwy and Nevada Way (NWC)  
**LOCATION:** See Site Plan  
**NORTHING:** 36.09380 **EASTING:** -115.04370 **ELEVATION:** 1660 MSL  
**DRILLER:** BC2 Drilling **LOGGED BY:** AEC  
**DRILLING METHOD:** Truck CME 85 with HSA **DATE:** 12-12-2025  
**DEPTH TO - WATER> INITIAL:**  $\nabla$  12 **AFTER 24 HOURS:**  $\nabla$  **CAVING>** C NA

This information pertains only to this boring and should not be interpreted as being indicative of the site.

Elevation (feet)	Depth (feet)	USCS	Description	Graphic	Sample No.	Blow Counts	% < #200	TEST RESULTS	
								Plastic Limit	Liquid Limit
1660	0		Fill: Spread and dumped fill, construction debris, trash, spread to 1.5', dumped to 1.5 feet. note surface white sulfate staining						
1657.5	2.5	SC/CL	Sandy CLAY/Clayey SAND, dark brown, firm, moist, fine sand, medium plastic fines, trace to little gypsum trace gypsum						
1655	5		Continue Sandy CLAY/Clayey SAND		1	3 3 5			
1652.5	7.5								
1650	10	SC/CL	Continue Sandy CLAY/Clayey SAND, sand is medium coarse, dense		2	8 16 22			
1647.5	12.5		Initial Ground Water during drilling.						
1645	15	SM/SC	Boring terminated at 15 ft. Silty to Clayey SAND, brown, loose to medium dense, wet, little gravel		3	6 5 4			
1642.5	17.5								

All samples SPT in accordance with ASTM D1586



# LOG OF BORING No. B-3

**PROJECT:** Boulder Hwy - 9 - Parcels **PROJECT NO.:** CCRPM-0905  
**CLIENT:** Clark County Real Property Management  
**PROJECT LOCATION:** Boulder Hwy and Nevada Way (NWC)  
**LOCATION:** See Site Plan  
**NORTHING:** 36.09381 **EASTING:** -115.04425 **ELEVATION:** 1661 MSL  
**DRILLER:** BC2 Drilling **LOGGED BY:** AEC  
**DRILLING METHOD:** Truck CME 85 with HSA **DATE:** 12-12-2025  
**DEPTH TO - WATER> INITIAL:** 12 **AFTER 24 HOURS:** NA **CAVING>** C NA

This information pertains only to this boring and should not be interpreted as being indicative of the site.

Elevation (feet)	Depth (feet)	USCS	Description	Graphic	Sample No.	Blow Counts	% < #200	TEST RESULTS	
								Plastic Limit	Liquid Limit
1660	0		Fill: Spread and dumped fill, construction debris, trash, spread to 2.5', dumped to 2.5 feet. note surface white sulfate staining						
1657.5	2.5	SC/SM	Silty/Clayey SAND, tan, firm, moist, fine sand, medium plastic fines, trace to little gypsum and gravel						
1655	5	SC/CL	Sandy CLAY to Clayey SAND, brown, moist, loose to medium dense, trace gravel, fines are medium plastic Swell = 18.8%		1	3 3 3	55	●	—
1652.5	7.5		little more gravel						
1650	10	SC/CL	Continue Sandy CLAY/Clayey SAND, sand is medium coarse, dense		2	6 12 15			
1647.5	12.5		Initial Ground Water during drilling.						
1645	15	SM/SC	Boring terminated at 15 ft. Silty to Clayey SAND, brown, loose, wet, little gravel		3	4 2 2			
	17.5								

All samples SPT in accordance with ASTM D1586



# LOG OF BORING No. B-4

**PROJECT:** Boulder Hwy - 9 - Parcels **PROJECT NO.:** CCRPM-0905  
**CLIENT:** Clark County Real Property Management  
**PROJECT LOCATION:** Boulder Hwy and Nevada Way (NWC)  
**LOCATION:** See Site Plan  
**NORTHING:** 36.09439 **EASTING:** -115.04487 **ELEVATION:** 1663 MSL  
**DRILLER:** BC2 Drilling **LOGGED BY:** AEC  
**DRILLING METHOD:** Truck CME 85 with HSA **DATE:** 12-19-2025  
**DEPTH TO - WATER> INITIAL:**  $\nabla$  12 **AFTER 24 HOURS:**  $\nabla$  **CAVING>** C NA

This information pertains only to this boring and should not be interpreted as being indicative of the site.

Elevation (feet)	Depth (feet)	USCS	Description	Graphic	Sample No.	Blow Counts	% < #200	TEST RESULTS	
								Plastic Limit	Liquid Limit
1662.5	0		Fill: Spread and dumped fill, construction debris, trash, spread to 3', dumped to 3 feet.						
1660	2.5	SM	Silty SAND, brown, moist, medium dense, with gypsum and little gravel, sand is fine.						
1657.5	5	CL	Sandy CLAY, gray, firm to stiff, moist, trace gravel, sand is medium, plasticity is medium Swell = 21.1%		1	2 2 4	58	•	—
1655	7.5								
1652.5	10				2	7 10 12		•	—
1650	12.5		Initial Ground Water during drilling.						
1647.5	15	CL	Sandy CLAY, gray, firm to stiff, wet, sand is fine, fines are medium plastic, trace gravel		3	5 8 7		•	—
	17.5								

All samples SPT in accordance with ASTM D1586



**LOG OF BORING  
No. B-4**

PROJECT: Boulder Hwy - 9 - Parcels PROJECT NO.: CCRPM-0905  
 CLIENT: Clark County Real Property Management  
 PROJECT LOCATION: Boulder Hwy and Nevada Way (NWC)  
 LOCATION: See Site Plan  
 NORTHING: 36.09439 EASTING: -115.04487 ELEVATION: 1663 MSL  
 DRILLER: BC2 Drilling LOGGED BY: AEC  
 DRILLING METHOD: Truck CME 85 with HSA DATE: 12-19-2025  
 DEPTH TO - WATER> INITIAL: 12 AFTER 24 HOURS: NA CAVING> C NA

This information pertains only to this boring and should not be interpreted as being indicative of the site.

Elevation (feet)	Depth (feet)	USCS	Description	Graphic	Sample No.	Blow Counts	% < #200	TEST RESULTS	
								Plastic Limit	Liquid Limit
1645									
	20								
1642.5		CL-CH	Boring terminated at 20 ft. PP = 1.5 TSF		4	4			
	22.5								
1640									
	25								
1637.5									
	27.5								
1635									
	30								
1632.5									
	32.5								
1630									
	35								
1627.5									

All samples SPT in accordance with ASTM D1586

# KEY TO SYMBOLS

Symbol Description

## Strata symbols



Silty sand



Poorly graded clayey  
silty sand



Low plasticity  
clay



Low-high plasticity  
clays



Clayey sand



Clayey sand and gravel

## Misc. Symbols



Water table during  
drilling

## Notes:

1. Exploratory borings were drilled on 12-19-2025 using a truck mounted hollow stem auger with an auto hammer.
2. Ground Water was encountered as shown on the logs.
3. Boring locations were paced from existing features and elevations from Google Earth.
4. These logs are subject to the limitations, conclusions, and recommendations in this report.
5. Results of tests conducted on samples recovered are reported on the logs and Appendix B.

**APPENDIX B**  
**LABORATORY TESTING**

# CCPE LTD.

CUNNINGHAM'S CONSULTING FOR PROCESS AND EQUIPMENT LTD.

## Soils Test Report

**Report Date:** 12/22/2025

**Report No.:** GL- 941T

Client: AEC  
1328 ECHO CREEK ST  
HENDERSON NV 89052

SAMPLE DATE:	12/12/2025
RECEIVED DATE:	12/15/2025
FIELD TECHNICIAN:	CARL CUNNINGHAM
SAMPLE I.D.:	12122025T B1-5-10BULK
MATERIAL DESCRIPTION:	NATIVE
MATERIAL SOURCE:	SEE BORE LOCATION
SAMPLE LOCATION:	BORE
SAMPLE TYPE:	BULK
LAB TECHNICIAN:	CARL CUNNINGHAM

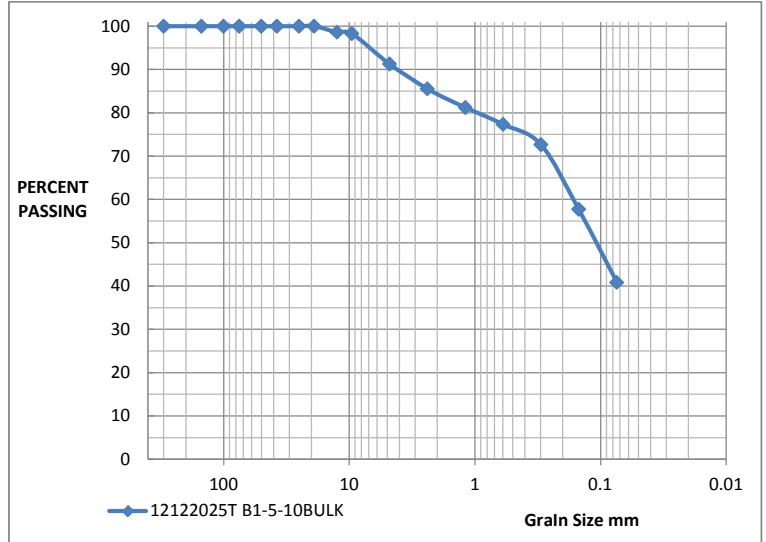
PROJECT: BOULDER HWY

PROJECT ADDRESS:

CLIENT CONTACT: 702-241-5339

ASTM C136 / C117 OR D6913

SIEVE		PERCENT PASSING	SPECIFICATION	
US	MM		MIN.	MAX
12"	300	100		
6"	150	100		
4"	100	100		
3"	75	100		
2"	50	100		
1 1/2"	37.5	100		
1"	25	100		
3/4"	19	100		
1/2"	12.5	99		
3/8"	9.525	98		
#4	4.76	91		
#8	2.38	86		
#16	1.19	81		
#30	0.595	77		
#50	0.297	73		
#100	0.149	58		
#200	0.074	41		



Classification / Description ASTM D2487			SC-SM	SILTY CLAYEY SAND			GRAY		
REPORTED TESTING	SPEC	RESULT	UNIT		SPEC	RESULT	UNIT		
Gravel %	--	9	%	LIQUID LIMIT*	--	25	--		
Sand %	--	91	%	PLASTIC LIMIT	--	19	--		
Cu =	Cu>4or(6)	10.00	--	PLASTICITY INDEX	--	6	--		
Cc =	1<Cc<3	1.60	--						
Moisture ASTM D 2216/ C566					--	12.5	%		
ASTMD2435(SNBCA 1803.5.3.2)					--	14.4	%		
					--	--	--		

NOTES:  
SINGLE POINT LIQUID LIMIT\*

COMMENTS:



REVIEWED BY:

SAMPLED PER ASTM D75 or D1586. TEST REPORT SHALL NOT BE REPRODUCED EXCEPT IN FULL WITHOUT WRITTEN APPROVAL OF THE LABORATORY.

5734 MEIKLE LANE, LAS VEGAS, NV, 89156: PHONE 702-429-4406: EMAIL clc@ccpeltd.com

# CCPE LTD.

CUNNINGHAM'S CONSULTING FOR PROCESS AND EQUIPMENT LTD.

## Soils Test Report

**Report Date:** 12/22/2025

**Report No.:** GL- 941U

**Client:** AEC  
1328 ECHO CREEK ST  
HENDERSON NV 89052

**SAMPLE DATE:** 12/12/2025  
**RECEIVED DATE:** 12/15/2025  
**FIELD TECHNICIAN:** CARL CUNNINGHAM  
**SAMPLE I.D.:** 12122025U B3-5-10 BULK  
**MATERIAL DESCRIPTION:** NATIVE  
**MATERIAL SOURCE:** SEE BORE LOCATION  
**SAMPLE LOCATION:** BORE  
**SAMPLE TYPE:** BULK  
**LAB TECHNICIAN:** CARL CUNNINGHAM

12/12/2025
12/15/2025
CARL CUNNINGHAM
12122025U B3-5-10 BULK
NATIVE
SEE BORE LOCATION
BORE
BULK
CARL CUNNINGHAM

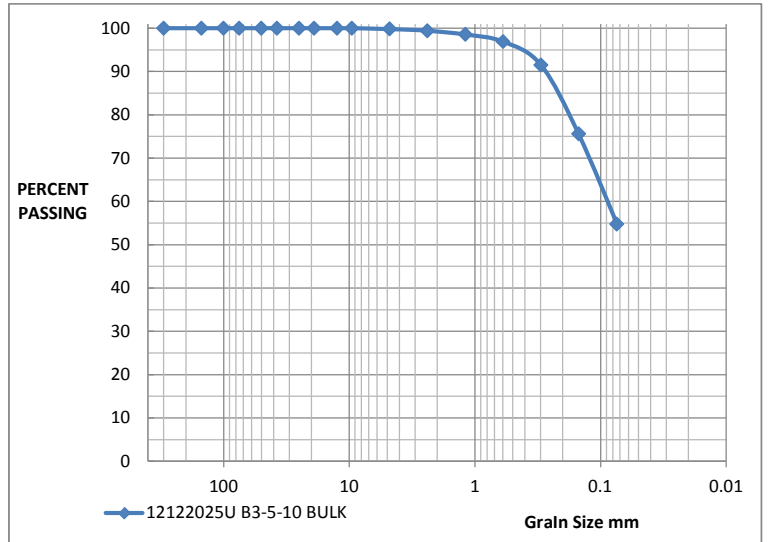
**PROJECT:** BOULDER HWY

**PROJECT ADDRESS:**

**CLIENT CONTACT:** 702-241-5339

ASTM C136 / C117 OR D6913

SIEVE		PERCENT PASSING	SPECIFICATION	
US	MM		MIN.	MAX
12"	300	100		
6"	150	100		
4"	100	100		
3"	75	100		
2"	50	100		
1 1/2"	37.5	100		
1"	25	100		
3/4"	19	100		
1/2"	12.5	100		
3/8"	9.525	100		
#4	4.76	100		
#8	2.38	99		
#16	1.19	99		
#30	0.595	97		
#50	0.297	91		
#100	0.149	76		
#200	0.074	55		



# CCPE LTD.

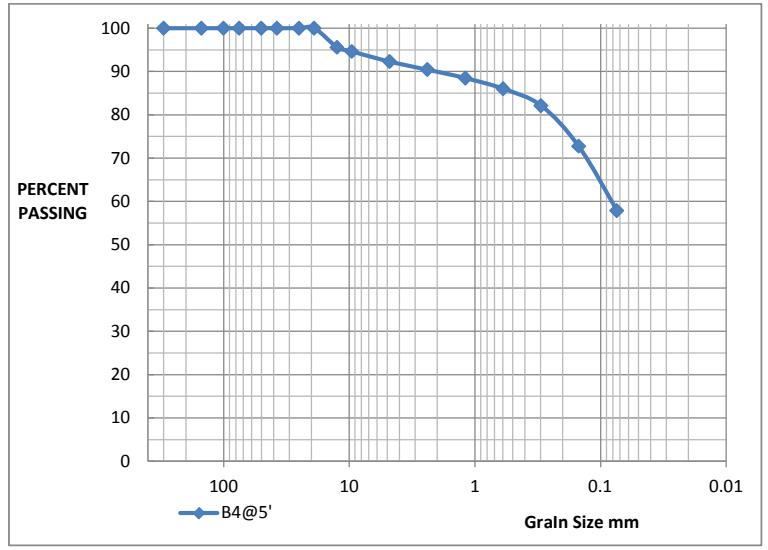
CUNNINGHAM'S CONSULTING FOR PROCESS AND EQUIPMENT LTD.

<b>Soils Test Report</b>	<b>Report Date:</b> 1/6/2026	<b>Report No.:</b> GL- 943
--------------------------	------------------------------	----------------------------

Client:	AEC 1328 ECHO CREEK ST HENDERSON NV 89052	SAMPLE DATE: RECEIVED DATE: FIELD TECHNICIAN: SAMPLE I.D.:	12/19/2025 12/22/2025 CARL CUNNINGHAM B4@5'
PROJECT:	BOULDER HWY B4	MATERIAL DESCRIPTION:	NATIVE
PROJECT ADDRESS:		MATERIAL SOURCE:	SEE BORE LOCATION
CLIENT CONTACT:	702-241-5339	SAMPLE LOCATION:	BORE
		SAMPLE TYPE:	BULK
		LAB TECHNICIAN:	CARL CUNNINGHAM

ASTM C136 / C117 OR D6913


SIEVE		PERCENT PASSING	SPECIFICATION	
US	MM		MIN.	MAX
12"	300	100		
6"	150	100		
4"	100	100		
3"	75	100		
2"	50	100		
1 1/2"	37.5	100		
1"	25	100		
3/4"	19	100		
1/2"	12.5	96		
3/8"	9.525	95		
#4	4.76	92		
#8	2.38	90		
#16	1.19	88		
#30	0.595	86		
#50	0.297	82		
#100	0.149	73		
#200	0.074	58		



Classification / Description ASTM D2487		CL	SANDY LEAN CLAY			GRAY		
REPORTED TESTING	SPEC	RESULT	UNIT		SPEC	RESULT	UNIT	
Gravel %	--	8	%	LIQUID LIMIT*	--	26	--	
Sand %	--	92	%	PLASTIC LIMIT	--	17	--	
Cu =	Cu>4or(6)	--	--	PLASTICITY INDEX	--	9	--	
Cc =	1<Cc<3	--	--					
Moisture ASTM D 2216/ C566					--	13.3	%	
ASTMD2435(SNBCA 1803.5.3.2)					--	21.1	%	
					--	--	--	

NOTES:  
SINGLE POINT LIQUID LIMIT\*  
ATTERBERGS FROM B4-10'

COMMENTS:



REVIEWED BY: *[Signature]*

**Report Date:** December 18, 2025

**Report:** 33180

**Client:**

CCPE Ltd.  
5734 Meikle Ln.  
Las Vegas, NV 89156

## Laboratory Report

**Client Project:** Boulder Hwy

**PO Number:** NA

Sample received December 18, 2025  
Sample processed December 18, 2025

Client Lab ID	Na <sup>+</sup> (%)	SO <sub>4</sub> <sup>2-</sup> (%)	Na <sub>2</sub> SO <sub>4</sub> (%)	Soil Solubility (%)
12122025T B1 Bulk	0.09	1.26	0.27	1.48
12122025U B3 Bulk	0.10	1.34	0.32	1.58

Note: mg kg<sup>-1</sup> is equal to ppm. To calculate ppm from Na<sub>2</sub>SO<sub>4</sub>, multiply the percent by 10,000; this will equal a near estimate without significant figures. <0.01 denotes below instrument detection limits (IDL). Below IDL does not affect the outcome of the overall sample(s) values. Methods are SM4500-SO<sub>4</sub><sup>2-</sup>, SM4500-Na<sup>+</sup>; and Na<sub>2</sub>SO<sub>4</sub> by calculation. Soil Solubility is the % soluble in DI water that passes through a 0.45 µm Whatman filter paper per SM2540B.

Respectively Submitted,



Douglas B Sims, PhD  
Environmental Geochemist

dsims@simsassociates.net  
C: 512-809-5094

**Report Date:** January 5, 2026

**Report:** 33217

**Client:**

CCPE Ltd.  
 5734 Meikle Ln.  
 Las Vegas, NV 89156

## Laboratory Report

**Client Project:** Boulder Hwy

PO Number: NA

Sample received January 5, 2026  
 Sample processed January 5, 2026

Client Lab ID	Na <sup>+</sup> (%)	SO <sub>4</sub> <sup>2-</sup> (%)	Na <sub>2</sub> SO <sub>4</sub> (%)	Soil Solubility (%)
12222025_B4@5'	0.08	1.10	0.23	1.46

Note: mg kg<sup>-1</sup> is equal to ppm. To calculate ppm from Na<sub>2</sub>SO<sub>4</sub>, multiply the percent by 10,000; this will equal a near estimate without significant figures. <0.01 denotes below instrument detection limits (IDL). Below IDL does not affect the outcome of the overall sample(s) values. Methods are SM4500-SO<sub>4</sub><sup>2-</sup>, SM4500-Na<sup>+</sup>; and Na<sub>2</sub>SO<sub>4</sub> by calculation. Soil Solubility is the % soluble in DI water that passes through a 0.45 µm Whatman filter paper per SM2540B.

Respectively Submitted,



Douglas B Sims, PhD  
 Environmental Geochemist

dsims@simsassociates.net  
 C: 512-809-5094

**APPENDIX C**  
**ReMi Survey**

# BC-Geophysics



12-22-2025

To:

Aaron Hastings, P.E.  
Henderson, NV 89052  
1328 Echo Creek Street, Henderson, NV 89052  
702-247-7645  
[aec@aec-nv.com](mailto:aec@aec-nv.com)

**Seismic Site Class Test for APNs 161-27-212-005, 161-27-212-006, 161-27-212-007, 161-27-212-008, 161-27-203-011, 161-27-203-012, 161-27-203-013, 161-27-203-014 in Clark County, NV: for Arroyo Engineering Consultants, Inc (Surveyed on December 19, 2025, by BC-Geophysics.)**

A single seismic test was done using a Passive Surface Wave (PSW) method. PSW returns reliable 1\_D, S-wave ( $V_s$ ) values, which are an average over the line length. This  $V_s$  measurement is similar to the well-known ReMi ( $V_s$ ) method, which is the seismic method of choice in the Las Vegas Valley, as over 10,700 ReMi lines have been run in the last twenty (20) years for the CC Building Services Dept. in a seismic microzonation program. See reference; John N. Louie: Faster, Better: Shear-Wave Velocity to 100 Meters Depth from Refraction Microtremor Arrays -2001. **Our test varied from the ReMi method in that the seismic data was processed using Geogiga software, see ref.**

The IBC Soils “Site Class” can be determined from our test. The site class method used is an appropriate 1D  $V_s$  sounding technique. The key to effectively incorporating these results into engineering design and construction specifications is the understanding that the  $V_s$  results are determined using dispersive surface wave analysis and an awareness that the model inversion process can lead to non-unique solutions (i.e., equivalence modeling of layer thickness versus velocity- (see Jim O’Donnell et al., 2011). The International Building Code (IBC) Soils Site Classification relates shear-wave velocity and Rock/Soil type to a National Earthquake Hazard Reduction Program (NEHRP) Site Class.

**This site's classification is “D” at  $V_s$ 100ft=1,103 ft/s.**

The seismic tests used a DAQLink 3 seismograph (<http://seismicsource.com/html/products/acquisition-systems/daqlink3>) from Seismic Source Company, which utilized their data acquisition software Vibroscope. The test was run with 24 geophones (vertical 4.5 Hz) spaced at 10ft intervals to give a line length of 230ft. Thirty (30) records were used to average the Velocity Spectra (p-f image); each was T=30s, with a Sample Rate=2ms.

Jim O'Donnell BC-Geophysics  
Seismic Surveys- Passive Surface Waves, Refraction-Tomography  
[Geophysics.jim@gmail.com](mailto:Geophysics.jim@gmail.com), <tel:702.281.9081> cell  
Boulder City, NV 89005

**Table 1:** The International Building Code (IBC) **Soils Site Classification chart** relates shear-wave velocity and Rock/Soil type to a National Earthquake Hazard Reduction Program (NEHRP) Site Class. Basins in Nevada typically have shallow shear-wave velocities that correlate with NEHRP Site Class C (1,200–2,500 ft/s) or Site Class D (600–1,200 ft/s), whereas the surrounding mountain ranges with hard or more competent rock commonly fall into Site Class B (2,500–5,000 ft/s).

Site Class	Site Profile Name	Soil Shear Wave Velocity, $\bar{v}_s$ (ft/sec)	Standard Penetration Resistance, $\bar{N}$ or $N_{ch}$	Undrained Shear Strength, $\bar{S}_u$ (psf)
A	Hard rock	$\bar{v}_s > 5,000$	NA	NA
B	Rock	$2,500 < \bar{v}_s \leq 5,000$	NA	NA
C	Very dense soil and soft rock	$1,200 < \bar{v}_s \leq 2,500$	> 50	> 2,000 psf
D	Stiff soil	$600 < \bar{v}_s \leq 1,200$	15 to 20	1,000 to 2,000 psf
E	Soft clay soil	$\bar{v}_s \leq 600$	<15	<1,000 psf
		Any profile with more than 10 ft of soil having the following characteristics: <ul style="list-style-type: none"> <li>• Plasticity index <math>PI &gt; 20</math></li> <li>• Moisture content <math>w \geq 40\%</math>, and</li> <li>• Undrained shear strength <math>S_u &lt; 500</math> psf</li> </ul>		
F	Soil requires site response analysis	Liquefiable soils, peat, high plasticity clay		

**References:**

John N. Louie, Faster, Better: Shear-Wave Velocity to 100 Meters Depth from Refraction Microtremor Arrays BSSA, 2001. V91, no.2 (April), p. 347-364.  
[https://pdfs.semanticscholar.org/a207/6d8e82699866f5ef15fec1bb86e129c05219.pdf?\\_ga=2.83346966.1628785987.1585258100-1904299825.1585258100](https://pdfs.semanticscholar.org/a207/6d8e82699866f5ef15fec1bb86e129c05219.pdf?_ga=2.83346966.1628785987.1585258100-1904299825.1585258100)

Jim O’Donnell, Aasha Pancha, and Craig M. dePolo, 2011, Shallow Shear-Wave Velocities Based on Refraction Microtremor Measurements in Areas Damaged by the 2008 Mw 6.0 Wells, Nevada Earthquake, *The 21 February 2008 Mw 6.0 Wells, Nevada Earthquake; Bureau of Mines and Geology, University of Nevada, Reno: Nevada Bureau of Mines and Geology Special Publication 36: 2011*  
[https://www.dropbox.com/s/77i912zswg32x6r/Wells%20M6%20III e \(O'Donnell %26 others\)%20\(3\).pdf?dl=0](https://www.dropbox.com/s/77i912zswg32x6r/Wells%20M6%20III%20e%20(O'Donnell%20others)%20(3).pdf?dl=0)

Seismic Source Company VibraScope 2.4.83 (<http://seismicsource.com/html/products/acquisition-systems/vscope>)

Seismic site classifications [using shear-wave velocities]; Table 1613.5.2, 2006: International Building Code (IBC).

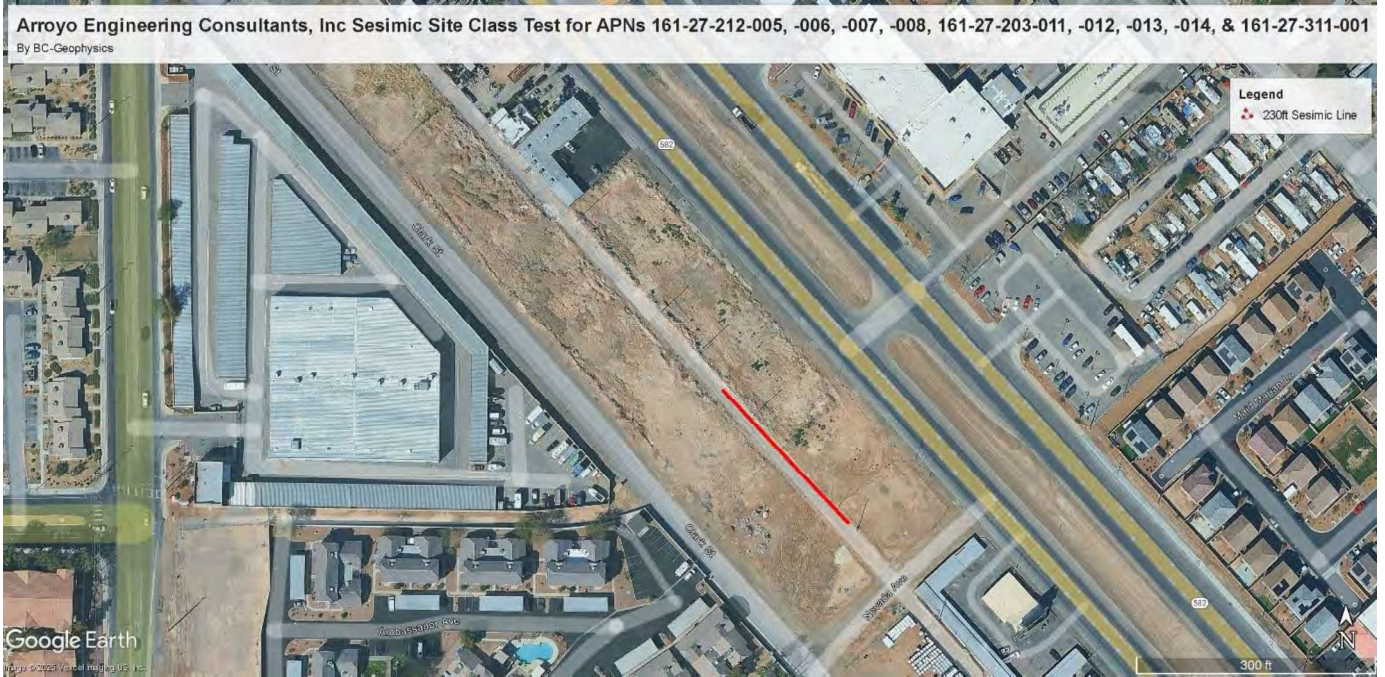
Geogiga Surface Plus 9.0 — Advanced Surface Wave Data Processing Software  
<http://www.geogiga.com/en/surfaceplus.php>

- Surface Plus is an all-in-one application designed for efficiently processing both **active** and **passive** surface wave data.
- It includes features for analyzing data from methods like **MASW (Multichannel Analysis of Surface Waves)**, **REMI (Refraction Microtremor)**, **SPAC (Spatial Autocorrelation)**, and **ESPAC (Extended Spatial Autocorrelation)**.

**Figure 1-A: Site Map with seismic line**

Geophone #01 is located at:  $36^{\circ} 5'36.83''N$ ,  $115^{\circ} 2'37.26''W$

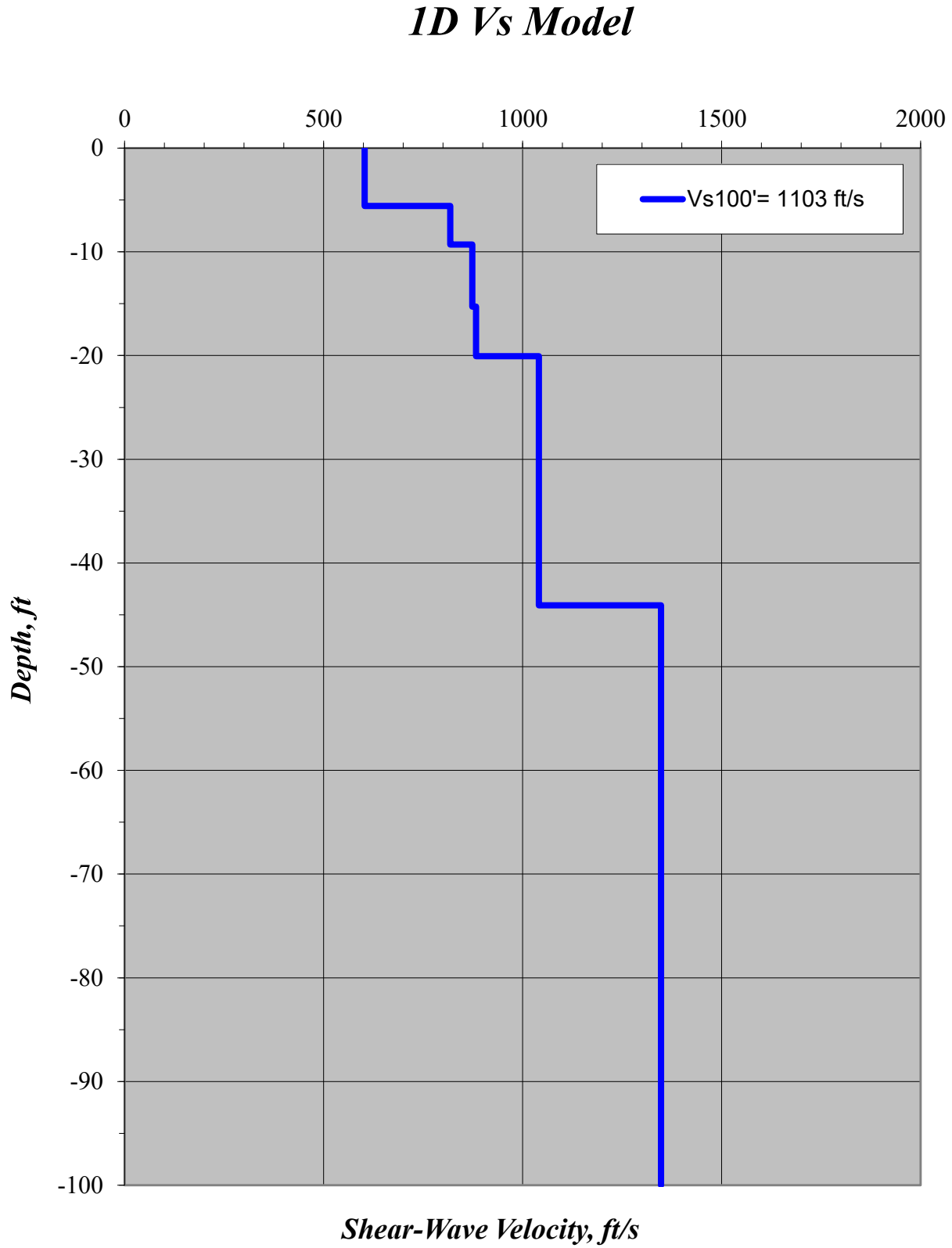
Geophone #24 is located at:  $36^{\circ} 5'35.19''N$ ,  $115^{\circ} 2'35.33''W$



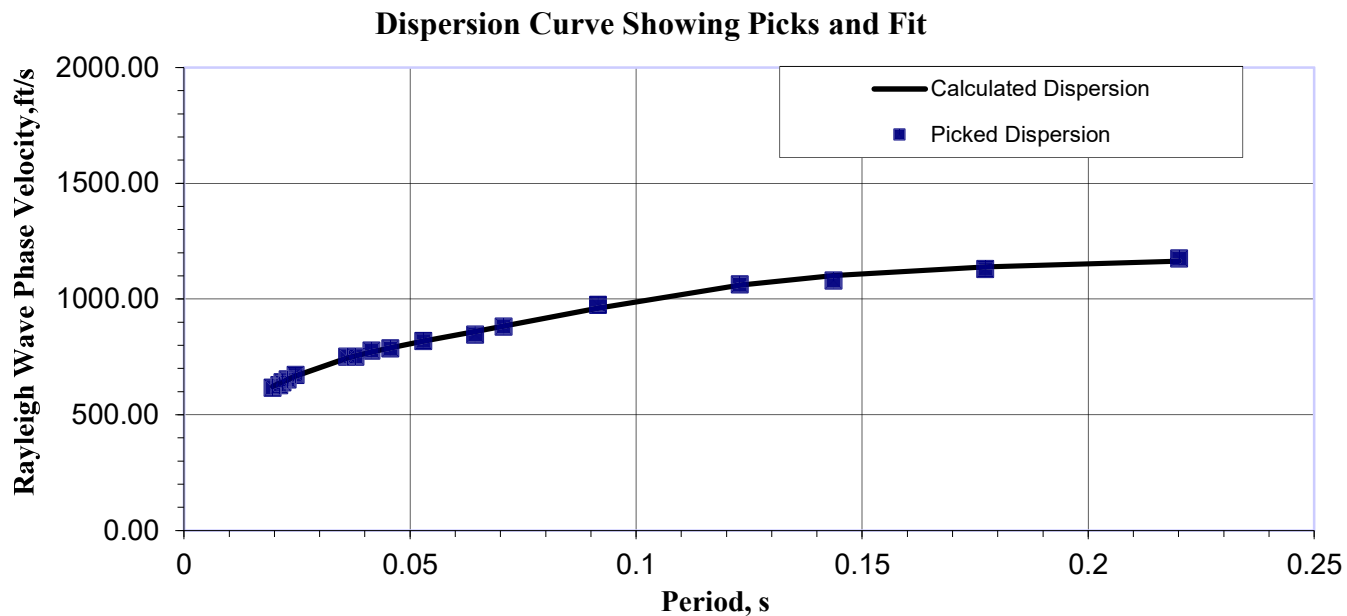
**Figure 1-B Site Picture looking down ReMi line from Northwest to Southeast**



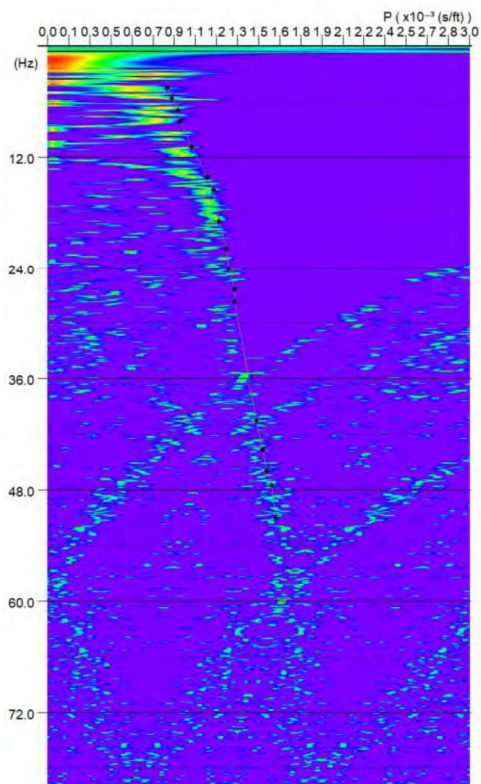
Figure 2A: 1-D Vs profile with depth for 100 ft.



**Figure 3A: Line 1 Dispersion curve picks and p-f image showing slowness ( $1/v$ ) plotted versus frequency.**



**p-f Image showing dispersion and picks**



## **PHASE I EXECUTIVE SUMMARY**

## EXECUTIVE SUMMARY

SCS Engineers (SCS) was retained by Clark County Real Property Management Design and Construction (RPM D&C) to prepare a Phase I Environmental Site Assessment (Phase I ESA) of 2.75 acres of vacant land located along Boulder Highway in Las Vegas, Nevada (the “Subject Property” or “Property”). This assessment was performed in conformance with 40 CFR 312, Standards for Conducting All Appropriate Inquiries, and in general conformance with ASTM E1527-21.

The Property is located on the western side of Boulder Highway and on the eastern side of Clark Street, approximately 820 feet southeast of the intersection with Missouri Avenue. An alley is located between the Property parcels running parallel with Boulder Highway and Clark Street. The Property consists of approximately 2.75 acres of vacant land with piles of soil, concrete, blocks, and gravel, scattered vegetation and solid waste debris, and an empty dumpster.

The Property was affiliated with up to four former addresses, which included 5920, 5940, 5948, and 5958 Boulder Highway. The address 5920 Boulder Highway was associated with Assessor’s Parcel Number (APN) 161-27-203-011. The address 5940 Boulder Highway appears to have been associated with APN 161-27-203-012. It was not clear which APN the address 5948 Boulder Highway may have been associated with. The address 5958 Boulder Highway was associated with APNs 161-27-203-013 and -014.

According to Assessor’s records, the Property was developed in 1941 with a 2,210 square foot commercial building occupied by J&B Furniture and Antiques at 5920 Boulder Highway (associated with APN 161-27-203-011). A 1,300 square foot storage building was developed for J&B Furniture and Antiques on the Property in 1945 (associated with APN 161-27-203-012). An addition was added to the commercial building in 1982 that increased the building’s size to 2,702 square feet. The first available aerial photograph from 1950 showed at least three structures were developed on the Property along Boulder Highway. City directories from 1970 first indicated that JB New and Used Furniture Co. was located on the Property at 5940 Boulder Highway, presumably the storage building (associated with APN 161-27-203-012), and the Plaza Trailer Park was located on the Property at 5958 Boulder Highway (associated with APNs 161-27-203-013 and -014). Assessor’s records from 1975 indicated the trailer park located at 5958 Boulder Highway had 14 spaces. Assessor’s notes indicated the park was not set up for modern large mobile homes. Water pressure was very low, there was no gas except for bottled sewer that appeared to be below minimum code requirements, streets were very narrow, and there were few improvements that would’ve normally been found in a mobile home park.

The first listing for the Property address of 5920 Boulder Highway was identified in the 1975 city directory with an individual name (Dwayne Flippin), and there was a listing for an individual name (Dan Sheek) at 5948 Boulder Highway, presumed to have been located on the Property. An electrical permit application dated 1992 was submitted for a new electrical distribution system for the trailer park. City directories indicated the furniture store and trailer park were operating on the Property until at least 2005. A building permit was issued for the demolition of the trailer park, and the trailer park was demolished in 2006. The furniture store and storage building were located on the Property until at least 2006. The Property has been vacant since at least 2010 with indications of scattered soil piles and debris.

SCS reviewed the NDWR website and one well was mapped on the Property on APN 161-27-212-005. According to the well log, an irrigation well was installed in 1941 to a depth of 450 feet bgs with a casing length of 332 feet and a diameter of 6 to 8 inches. The well log indicated that the well was going to be used for washing and laundry for cabins and trailers at the Plaza Trailer Park located at

the Property. The Plaza Trailer Park was formerly addressed at 5859 Boulder Highway and was associated with APNs 161-27-203-013 and -014. SCS did not observe evidence of a well at the Property, however, note that this well would need to be properly abandoned if encountered and it was not previously abandoned.

While historical records reviewed did not include information back to 1940, as required by ASTM 1527-21, the available information suggests that its use was undeveloped. SCS does not consider this data failure to be a significant data gap.

Regulatory database information identified few known and suspected contamination sites in the area surrounding the Property. Based on a review of the available information, it is unlikely that any of these sites have negatively affected the environmental condition of the Property.

### **Conclusions**

In summary, SCS performed a Phase I ESA of 2.75 acres of vacant land located along Boulder Highway in Las Vegas, Nevada, in conformance with the scope and limitations of 40 CFR 312 and ASTM E1527-21. Any exceptions or deviations are described in Section 8 of this report.

In the opinion of the Environmental Professional(s), this assessment has revealed no recognized environmental conditions (RECs), controlled recognized environmental conditions (CRECs), historical recognized environmental conditions (HRECs), or significant data gaps in connection with the Property. Further investigation is not recommended.

**ZONING EXCERPT**

**30.02.14 CG: COMMERCIAL GENERAL**

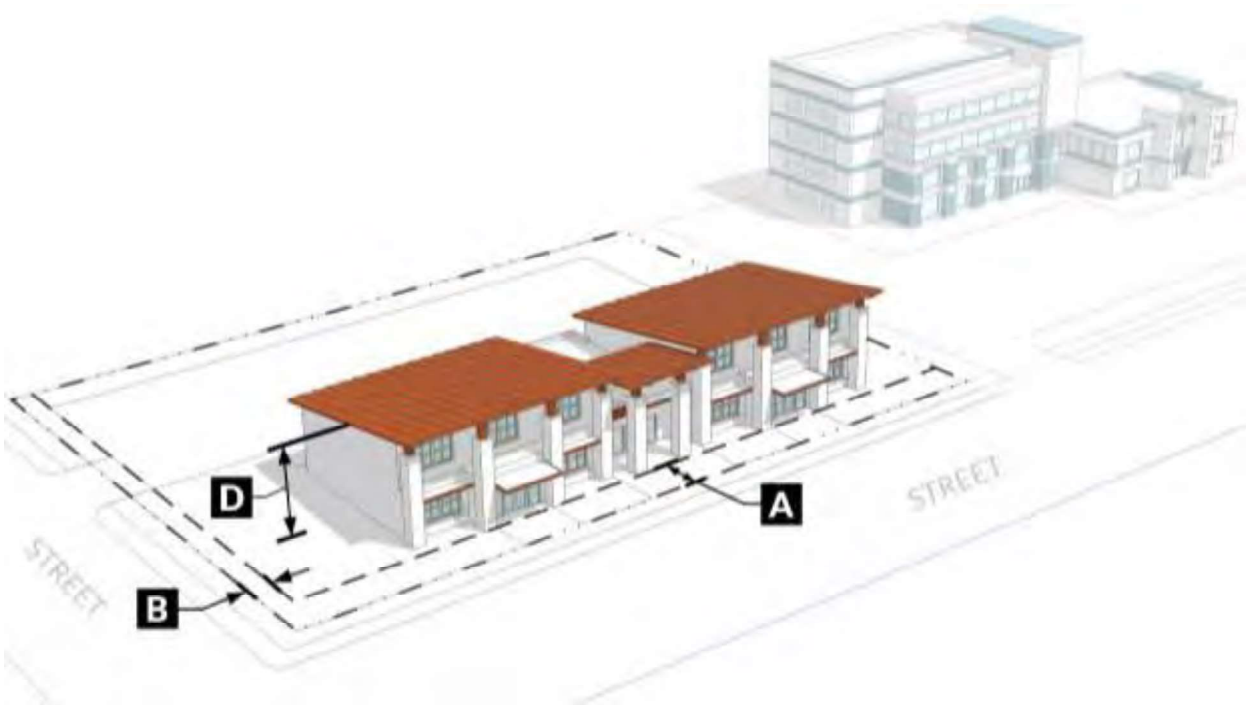
**A. Purpose**

The CG district is established to accommodate traditional, auto-oriented commercial uses while allowing for the transition over time to a mix of retail, commercial, and mixed-use development.

**B. Standards**

LOT		OTHER STANDARDS	
Lot area, min.	--	Overlay Districts	§30.02.26
Lot coverage, max.	60%	Measurement/Exceptions	§30.02.25
SETBACK (MIN. FT.)		Use Regulations	Chapter 30.03
<b>A</b> Front	10	Development Standards	Chapter 30.04
Side interior	--	Residential Adjacency	§30.04.06
<b>B</b> Side street	10		
Rear	--		
HEIGHT (MAX. FT.)			
<b>D</b> Structure height	50		

**Figure 30.02-14: CG District Standards Illustration**



**PUBLIC RECORD INFORMATION**

## Briana Johnson, Assessor

[Assessor Map](#)[Aerial View](#)[Building Sketch](#)[Ownership History](#)[Neighborhood Sales](#)[New Search](#)

### GENERAL INFORMATION

[PARCEL NO.](#)

161-27-203-011

[OWNER AND MAILING ADDRESS](#)

DEMIRJAN SHANE  
1710 RAIDERS WAY UNIT 110  
HENDERSON  
NV 89052

[LOCATION ADDRESS](#)

5920 BOULDER HWY

[CITY/UNINCORPORATED TOWN](#)

WHITNEY

[ASSESSOR DESCRIPTION](#)

UNREC WHITNEY TRACT LOT 13  
PT SW4 NW4 SEC 27-21-62

[RECORDED DOCUMENT NO.](#)

\* [20060727:04714](#)

[RECORDED DATE](#)

JUL 27 2006

[VESTING](#)

NS

[COMMENTS](#)

C-20250212:2429

\*Note: Only documents from September 15, 1999 through present are available for viewing.

### ASSESSMENT INFORMATION AND VALUE EXCLUDED FROM PARTIAL ABATEMENT

[TAX DISTRICT](#)

571

[APPRAISAL YEAR](#)

2025

[FISCAL YEAR](#)

2026-27

[SUPPLEMENTAL IMPROVEMENT VALUE](#)

0

[INCREMENTAL LAND](#)

0

[INCREMENTAL IMPROVEMENTS](#)

0

### REAL PROPERTY ASSESSED VALUE

[FISCAL YEAR](#)

2025-26

2026-27

[LAND](#)

33541

36895

[IMPROVEMENTS](#)

0
0
PERSONAL PROPERTY
0
0
EXEMPT
0
0
GROSS ASSESSED (SUBTOTAL)
33,541
36,895
TAXABLE LAND + IMP (SUBTOTAL)
95,831
105,414
COMMON ELEMENT ALLOCATION ASSESSED
0
0
TOTAL ASSESSED VALUE
33,541
36,895
TOTAL TAXABLE VALUE
95,831
105,414

[Click here for Treasurer Information regarding real property taxes.](#)

[Click here for Flood Control Information.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION
ESTIMATED SIZE
0.22 ACRES
ORIGINAL CONST. YEAR
0
LAST SALE PRICE
MONTH/YEAR
<a href="#">SALE TYPE</a>
1000000
7/2006
M - MULTIPLE-PARCEL SALE
LAND USE
14.000 - VACANT - COMMERCIAL
DWELLING UNITS
0

PRIMARY RESIDENTIAL STRUCTURE
1ST FLOOR SQ. FT.
CASITA SQ. FT.
ADDN/CONV
2ND FLOOR SQ. FT.
CARPORT SQ. FT.
POOL
NO
3RD FLOOR SQ. FT.
STYLE
SPA
NO
UNFINISHED BASEMENT SQ. FT.
0

BEDROOMS

0

TYPE OF CONSTRUCTION

FINISHED BASEMENT SQ. FT.

0

BATHROOMS

0

ROOF TYPE

BASEMENT GARAGE SQ. FT.

0

FIREPLACE

0

TOTAL GARAGE SQ. FT.

0

#### ASSESSOR MAP VIEWING GUIDELINES

MAP

[161272](#)

In order to view the Assessor map you must have Adobe Reader installed on your computer system.

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## Briana Johnson, Assessor

[Assessor Map](#)[Aerial View](#)[Building Sketch](#)[Ownership History](#)[Neighborhood Sales](#)[New Search](#)

### GENERAL INFORMATION

[PARCEL NO.](#)

161-27-203-012

[OWNER AND MAILING ADDRESS](#)DEMIRJAN SHANE  
1710 RAIDERS WAY UNIT 110  
HENDERSON  
NV 89052[LOCATION ADDRESS](#)

WHITNEY

[CITY/UNINCORPORATED TOWN](#)[ASSESSOR DESCRIPTION](#)

UNREC WHITNEY TRACT

## RECORDED DOCUMENT NO.

\* [20060727:04714](#)

## RECORDED DATE

JUL 27 2006

## VESTING

NS

## COMMENTS

CS#A67597;C-20250212:2429

\*Note: Only documents from September 15, 1999 through present are available for viewing.

### ASSESSMENT INFORMATION AND VALUE EXCLUDED FROM PARTIAL ABATEMENT

[TAX DISTRICT](#)

571

## APPRAISAL YEAR

2025

## FISCAL YEAR

2026-27

[SUPPLEMENTAL IMPROVEMENT VALUE](#)

0

[INCREMENTAL LAND](#)

0

[INCREMENTAL IMPROVEMENTS](#)

0

### REAL PROPERTY ASSESSED VALUE

## FISCAL YEAR

2025-26

2026-27

## LAND

16772

18449

## IMPROVEMENTS

0

0
PERSONAL PROPERTY
0
0
EXEMPT
0
0
GROSS ASSESSED (SUBTOTAL)
16,772
18,449
TAXABLE LAND + IMP (SUBTOTAL)
47,920
52,711
COMMON ELEMENT ALLOCATION ASSESSED
0
0
TOTAL ASSESSED VALUE
16,772
18,449
TOTAL TAXABLE VALUE
47,920
52,711

[Click here for Treasurer Information regarding real property taxes.](#)

[Click here for Flood Control Information.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION
ESTIMATED SIZE
0.11 ACRES
ORIGINAL CONST. YEAR
0
LAST SALE PRICE
MONTH/YEAR
<a href="#">SALE TYPE</a>
1000000
7/2006
M - MULTIPLE-PARCEL SALE
LAND USE
14.000 - VACANT - COMMERCIAL
DWELLING UNITS
0

PRIMARY RESIDENTIAL STRUCTURE
1ST FLOOR SQ. FT.
CASITA SQ. FT.
ADDN/CONV
2ND FLOOR SQ. FT.
CARPORT SQ. FT.
POOL
NO
3RD FLOOR SQ. FT.
STYLE
SPA
NO
UNFINISHED BASEMENT SQ. FT.
0
BEDROOMS

0  
TYPE OF CONSTRUCTION

FINISHED BASEMENT SQ. FT.

0  
BATHROOMS  
0  
ROOF TYPE

BASEMENT GARAGE SQ. FT.

0  
FIREPLACE  
0

TOTAL GARAGE SQ. FT.

0

#### ASSESSOR MAP VIEWING GUIDELINES

MAP  
[161272](#)

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# Briana Johnson, Assessor

[Assessor Map](#)[Aerial View](#)[Building Sketch](#)[Ownership History](#)[Neighborhood Sales](#)[New Search](#)

## GENERAL INFORMATION

### [PARCEL NO.](#)

161-27-203-013

### [OWNER AND MAILING ADDRESS](#)

DEMIRGIAN SHANE  
1710 RAIDERS WAY UNIT 110  
HENDERSON  
NV 89052

### [LOCATION ADDRESS](#)

5958 BOULDER HWY

### [CITY/UNINCORPORATED TOWN](#)

WHITNEY

### [ASSESSOR DESCRIPTION](#)

UNREC WHITNEY TRACT PT LOT 14

### RECORDED DOCUMENT NO.

\* [20051230:06023](#)

### RECORDED DATE

DEC 30 2005

### VESTING

NS

### COMMENTS

C-20250212:2429

\*Note: Only documents from September 15, 1999 through present are available for viewing.

## ASSESSMENT INFORMATION AND VALUE EXCLUDED FROM PARTIAL ABATEMENT

### [TAX DISTRICT](#)

571

### APPRAISAL YEAR

2025

### FISCAL YEAR

2026-27

### [SUPPLEMENTAL IMPROVEMENT VALUE](#)

0

### [INCREMENTAL LAND](#)

0

### [INCREMENTAL IMPROVEMENTS](#)

0

## REAL PROPERTY ASSESSED VALUE

### FISCAL YEAR

2025-26

2026-27

### LAND

16772

18449

### IMPROVEMENTS

0
0
PERSONAL PROPERTY
0
0
EXEMPT
0
0
GROSS ASSESSED (SUBTOTAL)
16,772
18,449
TAXABLE LAND + IMP (SUBTOTAL)
47,920
52,711
COMMON ELEMENT ALLOCATION ASSESSED
0
0
TOTAL ASSESSED VALUE
16,772
18,449
TOTAL TAXABLE VALUE
47,920
52,711

[Click here for Treasurer Information regarding real property taxes.](#)

[Click here for Flood Control Information.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION
ESTIMATED SIZE
0.11 ACRES
ORIGINAL CONST. YEAR
0
LAST SALE PRICE
MONTH/YEAR
<a href="#">SALE TYPE</a>
630000
12/2005
M - MULTIPLE-PARCEL SALE
LAND USE
14.000 - VACANT - COMMERCIAL
DWELLING UNITS
0

PRIMARY RESIDENTIAL STRUCTURE
1ST FLOOR SQ. FT.
CASITA SQ. FT.
ADDN/CONV
2ND FLOOR SQ. FT.
CARPORT SQ. FT.
POOL
NO
3RD FLOOR SQ. FT.
STYLE
SPA
NO
UNFINISHED BASEMENT SQ. FT.
0

BEDROOMS

0

TYPE OF CONSTRUCTION

FINISHED BASEMENT SQ. FT.

0

BATHROOMS

0

ROOF TYPE

BASEMENT GARAGE SQ. FT.

0

FIREPLACE

0

TOTAL GARAGE SQ. FT.

0

#### ASSESSOR MAP VIEWING GUIDELINES

MAP

[161272](#)

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## Briana Johnson, Assessor

[Assessor Map](#)[Aerial View](#)[Building Sketch](#)[Ownership History](#)[Neighborhood Sales](#)[New Search](#)

### GENERAL INFORMATION

[PARCEL NO.](#)

161-27-203-014

[OWNER AND MAILING ADDRESS](#)

DEMIRGIAN SHANE  
1710 RAIDERS WAY UNIT 110  
HENDERSON  
NV 89052

[LOCATION ADDRESS](#)

5958 BOULDER HWY

[CITY/UNINCORPORATED TOWN](#)

WHITNEY

[ASSESSOR DESCRIPTION](#)

UNREC WHITNEY TRACT LOTS 15-16

[RECORDED DOCUMENT NO.](#)

\* [20051230:06023](#)

[RECORDED DATE](#)

DEC 30 2005

[VESTING](#)

NS

[COMMENTS](#)

C-20250212:2429

\*Note: Only documents from September 15, 1999 through present are available for viewing.

### ASSESSMENT INFORMATION AND VALUE EXCLUDED FROM PARTIAL ABATEMENT

[TAX DISTRICT](#)

571

[APPRAISAL YEAR](#)

2025

[FISCAL YEAR](#)

2026-27

[SUPPLEMENTAL IMPROVEMENT VALUE](#)

0

[INCREMENTAL LAND](#)

0

[INCREMENTAL IMPROVEMENTS](#)

0

### REAL PROPERTY ASSESSED VALUE

[FISCAL YEAR](#)

2025-26

2026-27

[LAND](#)

70133

77146

[IMPROVEMENTS](#)

0
0
PERSONAL PROPERTY
0
0
EXEMPT
0
0
GROSS ASSESSED (SUBTOTAL)
70,133
77,146
TAXABLE LAND + IMP (SUBTOTAL)
200,380
220,417
COMMON ELEMENT ALLOCATION ASSESSED
0
0
TOTAL ASSESSED VALUE
70,133
77,146
TOTAL TAXABLE VALUE
200,380
220,417

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[Click here for Flood Control Information.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION
ESTIMATED SIZE
0.46 ACRES
ORIGINAL CONST. YEAR
0
LAST SALE PRICE
MONTH/YEAR
<a href="#">SALE TYPE</a>
630000
12/2005
M - MULTIPLE-PARCEL SALE
LAND USE
14.000 - VACANT - COMMERCIAL
DWELLING UNITS
0

PRIMARY RESIDENTIAL STRUCTURE
1ST FLOOR SQ. FT.
CASITA SQ. FT.
ADDN/CONV
2ND FLOOR SQ. FT.
CARPORT SQ. FT.
POOL
NO
3RD FLOOR SQ. FT.
STYLE
SPA
NO
UNFINISHED BASEMENT SQ. FT.
0

BEDROOMS

0

TYPE OF CONSTRUCTION

FINISHED BASEMENT SQ. FT.

0

BATHROOMS

0

ROOF TYPE

BASEMENT GARAGE SQ. FT.

0

FIREPLACE

0

TOTAL GARAGE SQ. FT.

0

#### ASSESSOR MAP VIEWING GUIDELINES

MAP

[161272](#)

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## Briana Johnson, Assessor

[Assessor Map](#)[Aerial View](#)[Building Sketch](#)[Ownership History](#)[Neighborhood Sales](#)[New Search](#)

### GENERAL INFORMATION

[PARCEL NO.](#)

161-27-212-005

[OWNER AND MAILING ADDRESS](#)DEMIRJIAN SHANE  
1710 RAIDERS WAY UNIT 110  
HENDERSON  
NV 89052[LOCATION ADDRESS](#)

WHITNEY

[CITY/UNINCORPORATED TOWN](#)[ASSESSOR DESCRIPTION](#)CARTER BUNCH SUB  
[PLAT BOOK 2 PAGE 74](#)  
LOT 9 BLOCK 1  
& LOT 10

## RECORDED DOCUMENT NO.

\* [20070122:02788](#)

## RECORDED DATE

JAN 22 2007

## VESTING

NS

## COMMENTS

C-20250212:2429

\*Note: Only documents from September 15, 1999 through present are available for viewing.

### ASSESSMENT INFORMATION AND VALUE EXCLUDED FROM PARTIAL ABATEMENT

[TAX DISTRICT](#)

571

## APPRAISAL YEAR

2025

## FISCAL YEAR

2026-27

[SUPPLEMENTAL IMPROVEMENT VALUE](#)

0

[INCREMENTAL LAND](#)

0

[INCREMENTAL IMPROVEMENTS](#)

0

### REAL PROPERTY ASSESSED VALUE

## FISCAL YEAR

2025-26

2026-27

## LAND

57324

64490

## IMPROVEMENTS

0

0
PERSONAL PROPERTY
0
0
EXEMPT
0
0
GROSS ASSESSED (SUBTOTAL)
57,324
64,490
TAXABLE LAND + IMP (SUBTOTAL)
163,783
184,257
COMMON ELEMENT ALLOCATION ASSESSED
0
0
TOTAL ASSESSED VALUE
57,324
64,490
TOTAL TAXABLE VALUE
163,783
184,257

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[Click here for Flood Control Information.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION
ESTIMATED SIZE
0.47 ACRES
ORIGINAL CONST. YEAR
0
LAST SALE PRICE
MONTH/YEAR
<a href="#">SALE TYPE</a>
250000
1/2007
R - RECORDED VALUE
LAND USE
14.000 - VACANT - COMMERCIAL
DWELLING UNITS
0

PRIMARY RESIDENTIAL STRUCTURE
1ST FLOOR SQ. FT.
CASITA SQ. FT.
ADDN/CONV
2ND FLOOR SQ. FT.
CARPORT SQ. FT.
POOL
NO
3RD FLOOR SQ. FT.
STYLE
SPA
NO
UNFINISHED BASEMENT SQ. FT.
0
BEDROOMS

0  
TYPE OF CONSTRUCTION

FINISHED BASEMENT SQ. FT.

0  
BATHROOMS  
0  
ROOF TYPE

BASEMENT GARAGE SQ. FT.

0  
FIREPLACE  
0

TOTAL GARAGE SQ. FT.

0

#### ASSESSOR MAP VIEWING GUIDELINES

MAP  
[161272](#)

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# Briana Johnson, Assessor

[Assessor Map](#)[Aerial View](#)[Building Sketch](#)[Ownership History](#)[Neighborhood Sales](#)[New Search](#)

## GENERAL INFORMATION

### [PARCEL NO.](#)

161-27-212-006

### [OWNER AND MAILING ADDRESS](#)

DEMIRJAN SHANE  
1710 RAIDERS WAY UNIT 110  
HENDERSON  
NV 89052

### [LOCATION ADDRESS](#)

WHITNEY

### [CITY/UNINCORPORATED TOWN](#)

### [ASSESSOR DESCRIPTION](#)

CARTER BUNCH SUB  
[PLAT BOOK 2 PAGE 74](#)  
LOT 11 BLOCK 1

### RECORDED DOCUMENT NO.

\* [20060727:04714](#)

### RECORDED DATE

JUL 27 2006

### VESTING

NS

### COMMENTS

C-20250212:2429

\*Note: Only documents from September 15, 1999 through present are available for viewing.

## ASSESSMENT INFORMATION AND VALUE EXCLUDED FROM PARTIAL ABATEMENT

### [TAX DISTRICT](#)

571

### APPRAISAL YEAR

2025

### FISCAL YEAR

2026-27

### [SUPPLEMENTAL IMPROVEMENT VALUE](#)

0

### [INCREMENTAL LAND](#)

0

### [INCREMENTAL IMPROVEMENTS](#)

0

## REAL PROPERTY ASSESSED VALUE

### FISCAL YEAR

2025-26

2026-27

### LAND

29271

32930

### IMPROVEMENTS

0

0
PERSONAL PROPERTY
0
0
EXEMPT
0
0
GROSS ASSESSED (SUBTOTAL)
29,271
32,930
TAXABLE LAND + IMP (SUBTOTAL)
83,631
94,086
COMMON ELEMENT ALLOCATION ASSESSED
0
0
TOTAL ASSESSED VALUE
29,271
32,930
TOTAL TAXABLE VALUE
83,631
94,086

[Click here for Treasurer Information regarding real property taxes.](#)

[Click here for Flood Control Information.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION
ESTIMATED SIZE
0.24 ACRES
ORIGINAL CONST. YEAR
0
LAST SALE PRICE
MONTH/YEAR
<a href="#">SALE TYPE</a>
1000000
7/2006
M - MULTIPLE-PARCEL SALE
LAND USE
14.000 - VACANT - COMMERCIAL
DWELLING UNITS
0

PRIMARY RESIDENTIAL STRUCTURE
1ST FLOOR SQ. FT.
CASITA SQ. FT.
ADDN/CONV
2ND FLOOR SQ. FT.
CARPORT SQ. FT.
POOL
NO
3RD FLOOR SQ. FT.
STYLE
SPA
NO
UNFINISHED BASEMENT SQ. FT.
0
BEDROOMS

0  
TYPE OF CONSTRUCTION

FINISHED BASEMENT SQ. FT.

0  
BATHROOMS  
0  
ROOF TYPE

BASEMENT GARAGE SQ. FT.

0  
FIREPLACE  
0

TOTAL GARAGE SQ. FT.

0

#### ASSESSOR MAP VIEWING GUIDELINES

MAP  
[161272](#)

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# Briana Johnson, Assessor

[Assessor Map](#)[Aerial View](#)[Building Sketch](#)[Ownership History](#)[Neighborhood Sales](#)[New Search](#)

## GENERAL INFORMATION

### [PARCEL NO.](#)

161-27-212-007

### [OWNER AND MAILING ADDRESS](#)

DEMIRJAN SHANE  
1710 RAIDERS WAY UNIT 110  
HENDERSON  
NV 89052

### [LOCATION ADDRESS](#)

WHITNEY

### [CITY/UNINCORPORATED TOWN](#)

### [ASSESSOR DESCRIPTION](#)

CARTER BUNCH SUB  
[PLAT BOOK 2 PAGE 74](#)  
LOT 12 BLOCK 1

### RECORDED DOCUMENT NO.

\* [20060727:04714](#)

### RECORDED DATE

JUL 27 2006

### VESTING

NS

### COMMENTS

C-20250212:2429

\*Note: Only documents from September 15, 1999 through present are available for viewing.

## ASSESSMENT INFORMATION AND VALUE EXCLUDED FROM PARTIAL ABATEMENT

### [TAX DISTRICT](#)

571

### APPRAISAL YEAR

2025

### FISCAL YEAR

2026-27

### [SUPPLEMENTAL IMPROVEMENT VALUE](#)

0

### [INCREMENTAL LAND](#)

0

### [INCREMENTAL IMPROVEMENTS](#)

0

## REAL PROPERTY ASSESSED VALUE

### FISCAL YEAR

2025-26

2026-27

### LAND

29271

32930

### IMPROVEMENTS

0

0
PERSONAL PROPERTY
0
0
EXEMPT
0
0
GROSS ASSESSED (SUBTOTAL)
29,271
32,930
TAXABLE LAND + IMP (SUBTOTAL)
83,631
94,086
COMMON ELEMENT ALLOCATION ASSESSED
0
0
TOTAL ASSESSED VALUE
29,271
32,930
TOTAL TAXABLE VALUE
83,631
94,086

[Click here for Treasurer Information regarding real property taxes.](#)

[Click here for Flood Control Information.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION
ESTIMATED SIZE
0.24 ACRES
ORIGINAL CONST. YEAR
0
LAST SALE PRICE
MONTH/YEAR
<a href="#">SALE TYPE</a>
1000000
7/2006
M - MULTIPLE-PARCEL SALE
LAND USE
14.000 - VACANT - COMMERCIAL
DWELLING UNITS
0

PRIMARY RESIDENTIAL STRUCTURE
1ST FLOOR SQ. FT.
CASITA SQ. FT.
ADDN/CONV
2ND FLOOR SQ. FT.
CARPORT SQ. FT.
POOL
NO
3RD FLOOR SQ. FT.
STYLE
SPA
NO
UNFINISHED BASEMENT SQ. FT.
0
BEDROOMS

0  
TYPE OF CONSTRUCTION

FINISHED BASEMENT SQ. FT.

0  
BATHROOMS  
0  
ROOF TYPE

BASEMENT GARAGE SQ. FT.

0  
FIREPLACE  
0

TOTAL GARAGE SQ. FT.

0

#### ASSESSOR MAP VIEWING GUIDELINES

MAP  
[161272](#)

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## Briana Johnson, Assessor

[Assessor Map](#)[Aerial View](#)[Building Sketch](#)[Ownership History](#)[Neighborhood Sales](#)[New Search](#)

### GENERAL INFORMATION

[PARCEL NO.](#)

161-27-212-008

[OWNER AND MAILING ADDRESS](#)DEMIRGIAN SHANE  
1710 RAIDERS WAY UNIT 110  
HENDERSON  
NV 89052[LOCATION ADDRESS](#)

WHITNEY

[CITY/UNINCORPORATED TOWN](#)[ASSESSOR DESCRIPTION](#)CARTER BUNCH SUB  
[PLAT BOOK 2 PAGE 74](#)  
LOT 13 BLOCK 1  
& LOT 14

## RECORDED DOCUMENT NO.

\* [20051230:06023](#)

## RECORDED DATE

DEC 30 2005

## VESTING

NS

## COMMENTS

C-20250212:2429

\*Note: Only documents from September 15, 1999 through present are available for viewing.

### ASSESSMENT INFORMATION AND VALUE EXCLUDED FROM PARTIAL ABATEMENT

[TAX DISTRICT](#)

571

## APPRAISAL YEAR

2025

## FISCAL YEAR

2026-27

[SUPPLEMENTAL IMPROVEMENT VALUE](#)

0

[INCREMENTAL LAND](#)

0

[INCREMENTAL IMPROVEMENTS](#)

0

### REAL PROPERTY ASSESSED VALUE

## FISCAL YEAR

2025-26

2026-27

## LAND

54886

61746

## IMPROVEMENTS

0

0
PERSONAL PROPERTY
0
0
EXEMPT
0
0
GROSS ASSESSED (SUBTOTAL)
54,886
61,746
TAXABLE LAND + IMP (SUBTOTAL)
156,817
176,417
COMMON ELEMENT ALLOCATION ASSESSED
0
0
TOTAL ASSESSED VALUE
54,886
61,746
TOTAL TAXABLE VALUE
156,817
176,417

[Click here for Treasurer Information regarding real property taxes.](#)

[Click here for Flood Control Information.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION
ESTIMATED SIZE
0.45 ACRES
ORIGINAL CONST. YEAR
0
LAST SALE PRICE
MONTH/YEAR
<a href="#">SALE TYPE</a>
630000
12/2005
M - MULTIPLE-PARCEL SALE
LAND USE
14.000 - VACANT - COMMERCIAL
DWELLING UNITS
0

PRIMARY RESIDENTIAL STRUCTURE
1ST FLOOR SQ. FT.
CASITA SQ. FT.
ADDN/CONV
2ND FLOOR SQ. FT.
CARPORT SQ. FT.
POOL
NO
3RD FLOOR SQ. FT.
STYLE
SPA
NO
UNFINISHED BASEMENT SQ. FT.
0
BEDROOMS

0  
TYPE OF CONSTRUCTION

FINISHED BASEMENT SQ. FT.

0  
BATHROOMS  
0  
ROOF TYPE

BASEMENT GARAGE SQ. FT.

0  
FIREPLACE  
0

TOTAL GARAGE SQ. FT.

0

#### ASSESSOR MAP VIEWING GUIDELINES

MAP  
[161272](#)

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# Briana Johnson, Assessor

[Assessor Map](#)[Aerial View](#)[Building Sketch](#)[Ownership History](#)[Neighborhood Sales](#)[New Search](#)

## GENERAL INFORMATION

### [PARCEL NO.](#)

161-27-311-001

### [OWNER AND MAILING ADDRESS](#)

DEMIRJIAN SHANE  
1710 RAIDERS WAY UNIT 110  
HENDERSON  
NV 89052

### [LOCATION ADDRESS](#)

WHITNEY

### [CITY/UNINCORPORATED TOWN](#)

### [ASSESSOR DESCRIPTION](#)

CARTER BUNCH SUB  
[PLAT BOOK 2 PAGE 74](#)  
LOT 15 BLOCK 1  
& LOT 16

### RECORDED DOCUMENT NO.

\* [20060908:00834](#)

### RECORDED DATE

SEP 8 2006

### VESTING

NS

### COMMENTS

C-20250212:2429

\*Note: Only documents from September 15, 1999 through present are available for viewing.

## ASSESSMENT INFORMATION AND VALUE EXCLUDED FROM PARTIAL ABATEMENT

### [TAX DISTRICT](#)

571

### APPRAISAL YEAR

2025

### FISCAL YEAR

2026-27

### [SUPPLEMENTAL IMPROVEMENT VALUE](#)

0

### [INCREMENTAL LAND](#)

0

### [INCREMENTAL IMPROVEMENTS](#)

0

## REAL PROPERTY ASSESSED VALUE

### FISCAL YEAR

2025-26

2026-27

### LAND

56106

63120

### IMPROVEMENTS

0

0
PERSONAL PROPERTY
0
0
EXEMPT
0
0
GROSS ASSESSED (SUBTOTAL)
56,106
63,120
TAXABLE LAND + IMP (SUBTOTAL)
160,303
180,343
COMMON ELEMENT ALLOCATION ASSESSED
0
0
TOTAL ASSESSED VALUE
56,106
63,120
TOTAL TAXABLE VALUE
160,303
180,343

[Click here for Treasurer Information regarding real property taxes.](#)

[Click here for Flood Control Information.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION
ESTIMATED SIZE
0.46 ACRES
ORIGINAL CONST. YEAR
0
LAST SALE PRICE
MONTH/YEAR
<a href="#">SALE TYPE</a>
262000
9/2006
R - RECORDED VALUE
LAND USE
14.000 - VACANT - COMMERCIAL
DWELLING UNITS
0

PRIMARY RESIDENTIAL STRUCTURE
1ST FLOOR SQ. FT.
CASITA SQ. FT.
ADDN/CONV
2ND FLOOR SQ. FT.
CARPORT SQ. FT.
POOL
NO
3RD FLOOR SQ. FT.
STYLE
SPA
NO
UNFINISHED BASEMENT SQ. FT.
0
BEDROOMS

0  
TYPE OF CONSTRUCTION

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FINISHED BASEMENT SQ. FT.

0  
BATHROOMS  
0  
ROOF TYPE

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BASEMENT GARAGE SQ. FT.

0  
FIREPLACE  
0

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TOTAL GARAGE SQ. FT.

0

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#### ASSESSOR MAP VIEWING GUIDELINES

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MAP  
[161273](#)

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In order to view the Assessor map you must have Adobe Reader installed on your computer system.

If you do not have the Reader it can be downloaded from the Adobe site by clicking the following button. Once you have downloaded and installed the Reader from the Adobe site, it is not necessary to perform the download a second time to access the maps.



**Note:** This record is for assessment use only. No liability is assumed as to the accuracy of the data delineated hereon.

# Property Account Inquiry - Summary Screen

## New Search

Parcel ID	161-27-203-011	Tax Year	2026	District	571	Rate	2.9328
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Situs Address:	5920 BOULDER HWY WHITNEY
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Legal Description:	ASSESSOR DESCRIPTION:UNREC WHITNEY TRACT LOT 13 PT SW4 NW4 SEC 27-21-62
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Status:	Property Characteristics	Property Values	Property Documents
Active	Tax Cap Increase Pct. 8.0	Land 33541	2006072704714 7/27/2006
Taxable	Tax Cap Limit Amount 839.71	Total Assessed Value 33541	08500683100 1/3/1968
	Tax Cap Reduction 143.98	Net Assessed Value 33541	
	Land Use 0-00 Vacant - Commercial	Exemption Value New Construction 0	
	Cap Type OTHER	New Construction - Supp Value 0	
	Acreage 0.2200		
	Exemption Amount 0.00		

Role	Name	Address	Since	To
Owner	DEMIRJAN SHANE	1710 RAIDERS WAY UNIT 110 , HENDERSON, NV 89052 UNITED STATES	4/29/2025	Current

### Summary

Item	Amount
Taxes as Assessed	\$983.69
Less Cap Reduction	\$143.98
Net Taxes	\$839.71

### PAST AND CURRENT CHARGES DUE TODAY

Tax Year	Charge Category	Amount Due Today
<b>THERE IS NO PAST OR CURRENT AMOUNT DUE as of 4/3/2026</b>		\$0.00

### NEXT INSTALLMENT AMOUNTS

Tax Year	Charge Category	Installment Amount Due
<b>THERE IS NO NEXT INSTALLMENT AMOUNT DUE as of 4/3/2026</b>		

### TOTAL AMOUNTS DUE FOR ENTIRE TAX YEAR

Tax Year	Charge Category	Remaining Balance Due
<b>THERE IS NO TOTAL AMOUNT DUE FOR THE ENTIRE TAX YEAR as of 4/3/2026</b>		

### PAYMENT HISTORY

Last Payment Amount	\$209.93
Last Payment Date	2/17/2026
Fiscal Tax Year Payments	\$842.61
Prior Calendar Year Payments	\$827.06
Current Calendar Year Payments	\$209.93

# Property Account Inquiry - Summary Screen

## New Search

Parcel ID	161-27-203-012	Tax Year	2026	District	571	Rate	2.9328
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Situs Address:	0 UNASSIGNED SITUS WHITNEY
Legal Description:	ASSESSOR DESCRIPTION:UNREC WHITNEY TRACT

Status:	Property Characteristics	Property Values	Property Documents
Active	Tax Cap Increase Pct. 8.0	Land 16772	2006072704714 7/27/2006
Taxable	Tax Cap Limit Amount 419.89	Total Assessed Value 16772	14331392055 7/15/1981
	Tax Cap Reduction 72.00	Net Assessed Value 16772	
	Land Use 0-00 Vacant - Commercial	Exemption Value New Construction 0	
	Cap Type OTHER	New Construction - Supp Value 0	
	Acreage 0.1100		
	Exemption Amount 0.00		

Role	Name	Address	Since	To
Owner	DEMIRJAN SHANE	1710 RAIDERS WAY UNIT 110 , HENDERSON, NV 89052 UNITED STATES	4/29/2025	Current

### Summary

Item	Amount
Taxes as Assessed	\$491.89
Less Cap Reduction	\$72.00
Net Taxes	\$419.89

### PAST AND CURRENT CHARGES DUE TODAY

Tax Year	Charge Category	Amount Due Today
<b>THERE IS NO PAST OR CURRENT AMOUNT DUE as of 4/3/2026</b>		\$0.00

### NEXT INSTALLMENT AMOUNTS

Tax Year	Charge Category	Installment Amount Due
<b>THERE IS NO NEXT INSTALLMENT AMOUNT DUE as of 4/3/2026</b>		

### TOTAL AMOUNTS DUE FOR ENTIRE TAX YEAR

Tax Year	Charge Category	Remaining Balance Due
<b>THERE IS NO TOTAL AMOUNT DUE FOR THE ENTIRE TAX YEAR as of 4/3/2026</b>		

### PAYMENT HISTORY

Last Payment Amount	\$104.97
Last Payment Date	2/17/2026
Fiscal Tax Year Payments	\$422.79
Prior Calendar Year Payments	\$415.02
Current Calendar Year Payments	\$104.97

# Property Account Inquiry - Summary Screen

## New Search

Parcel ID	161-27-203-013	Tax Year	2026	District	571	Rate	2.9328
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Situation Address:	5958 BOULDER HWY WHITNEY
Legal Description:	ASSESSOR DESCRIPTION:UNREC WHITNEY TRACT PT LOT 14

Status:	Property Characteristics	Property Values	Property Documents
Active	Tax Cap Increase Pct. 8.0	Land 16772	2005123006023 12/30/2005
Taxable	Tax Cap Limit Amount 419.89	Total Assessed Value 16772	2003013103404 1/31/2003
	Tax Cap Reduction 72.00	Net Assessed Value 16772	91110100118 11/1/1991
	Land Use 0-00 Vacant - Commercial	Exemption Value New Construction 0	
	Cap Type OTHER	New Construction - Supp Value 0	
	Acreage 0.1100		
	Exemption Amount 0.00		

Role	Name	Address	Since	To
Owner	DEMIRGIAN SHANE	1710 RAIDERS WAY UNIT 110 , HENDERSON, NV 89052 UNITED STATES	4/29/2025	Current

### Summary

Item	Amount
Taxes as Assessed	\$491.89
Less Cap Reduction	\$72.00
Net Taxes	\$419.89

### PAST AND CURRENT CHARGES DUE TODAY

Tax Year	Charge Category	Amount Due Today
<b>THERE IS NO PAST OR CURRENT AMOUNT DUE as of 4/3/2026</b>		<b>\$0.00</b>

### NEXT INSTALLMENT AMOUNTS

Tax Year	Charge Category	Installment Amount Due
<b>THERE IS NO NEXT INSTALLMENT AMOUNT DUE as of 4/3/2026</b>		

### TOTAL AMOUNTS DUE FOR ENTIRE TAX YEAR

Tax Year	Charge Category	Remaining Balance Due
<b>THERE IS NO TOTAL AMOUNT DUE FOR THE ENTIRE TAX YEAR as of 4/3/2026</b>		

### PAYMENT HISTORY

Last Payment Amount	\$104.97
Last Payment Date	2/17/2026
Fiscal Tax Year Payments	\$422.79
Prior Calendar Year Payments	\$415.02
Current Calendar Year Payments	\$104.97

# Property Account Inquiry - Summary Screen

## New Search

Parcel ID	161-27-203-014	Tax Year	2026	District	571	Rate	2.9328
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Situs Address:	5958 BOULDER HWY WHITNEY
Legal Description:	ASSESSOR DESCRIPTION:UNREC WHITNEY TRACT LOTS 15-16

Status:	Property Characteristics	Property Values	Property Documents
Active	Tax Cap Increase Pct. 8.0	Land 70133	2005123006023 12/30/2005
Taxable	Tax Cap Limit Amount 1755.84	Total Assessed Value 70133	2003013103404 1/31/2003
	Tax Cap Reduction 301.02	Net Assessed Value 70133	91110100118 11/1/1991
	Land Use 0-00 Vacant - Commercial	Exemption Value New Construction 0	
	Cap Type OTHER	New Construction - Supp Value 0	
	Acreage 0.4600		
	Exemption Amount 0.00		

Role	Name	Address	Since	To
Owner	DEMIRGIAN SHANE	1710 RAIDERS WAY UNIT 110 , HENDERSON, NV 89052 UNITED STATES	4/29/2025	Current

### Summary

Item	Amount
Taxes as Assessed	\$2,056.86
Less Cap Reduction	\$301.02
Net Taxes	\$1,755.84

### PAST AND CURRENT CHARGES DUE TODAY

Tax Year	Charge Category	Amount Due Today
<b>THERE IS NO PAST OR CURRENT AMOUNT DUE as of 4/3/2026</b>		<b>\$0.00</b>

### NEXT INSTALLMENT AMOUNTS

Tax Year	Charge Category	Installment Amount Due
<b>THERE IS NO NEXT INSTALLMENT AMOUNT DUE as of 4/3/2026</b>		

### TOTAL AMOUNTS DUE FOR ENTIRE TAX YEAR

Tax Year	Charge Category	Remaining Balance Due
<b>THERE IS NO TOTAL AMOUNT DUE FOR THE ENTIRE TAX YEAR as of 4/3/2026</b>		

### PAYMENT HISTORY

Last Payment Amount	\$438.96
Last Payment Date	2/17/2026
Fiscal Tax Year Payments	\$1,758.74
Prior Calendar Year Payments	\$1,726.23
Current Calendar Year Payments	\$438.96

# Property Account Inquiry - Summary Screen

## New Search

Parcel ID	161-27-212-005	Tax Year	2026	District	571	Rate	2.9328
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Situs Address:	0 UNASSIGNED SITUS WHITNEY
Legal Description:	ASSESSOR DESCRIPTION:CARTER BUNCH SUB PLAT BOOK 2 PAGE 74 LOT 9 BLOCK 1

Status:	Property Characteristics	Property Values	Property Documents
Active	Tax Cap Increase Pct. 8.0	Land 57324	2007012202788 1/22/2007
Taxable	Tax Cap Limit Amount 1435.14	Total Assessed Value 57324	2004111503106 11/15/2004
	Tax Cap Reduction 246.06	Net Assessed Value 57324	95022801159 2/28/1995
	Land Use 0-00 Vacant - Commercial	Exemption Value New Construction 0	
	Cap Type OTHER	New Construction - Supp Value 0	
	Acreage 0.4700		
	Exemption Amount 0.00		

Role	Name	Address	Since	To
Owner	DEMIRJIAN SHANE	1710 RAIDERS WAY UNIT 110 , HENDERSON, NV 89052 UNITED STATES	4/29/2025	Current

### Summary

Item	Amount
Taxes as Assessed	\$1,681.20
Less Cap Reduction	\$246.06
Net Taxes	\$1,435.14

### PAST AND CURRENT CHARGES DUE TODAY

Tax Year	Charge Category	Amount Due Today
<b>THERE IS NO PAST OR CURRENT AMOUNT DUE as of 4/3/2026</b>		\$0.00

### NEXT INSTALLMENT AMOUNTS

Tax Year	Charge Category	Installment Amount Due
<b>THERE IS NO NEXT INSTALLMENT AMOUNT DUE as of 4/3/2026</b>		

### TOTAL AMOUNTS DUE FOR ENTIRE TAX YEAR

Tax Year	Charge Category	Remaining Balance Due
<b>THERE IS NO TOTAL AMOUNT DUE FOR THE ENTIRE TAX YEAR as of 4/3/2026</b>		

### PAYMENT HISTORY

Last Payment Amount	\$358.79
Last Payment Date	2/17/2026
Fiscal Tax Year Payments	\$1,438.04
Prior Calendar Year Payments	\$1,411.46
Current Calendar Year Payments	\$358.79

# Property Account Inquiry - Summary Screen

## New Search

Parcel ID	161-27-212-006	Tax Year	2026	District	571	Rate	2.9328
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Situs Address:	0 UNASSIGNED SITUS WHITNEY
Legal Description:	ASSESSOR DESCRIPTION: CARTER BUNCH SUB PLAT BOOK 2 PAGE 74 LOT 11 BLOCK 1

Status:	Property Characteristics	Property Values	Property Documents
Active	Tax Cap Increase Pct. 8.0	Land 29271	2006072704714 7/27/2006
Taxable	Tax Cap Limit Amount 732.83	Total Assessed Value 29271	09920796177 11/14/1969
	Tax Cap Reduction 125.63	Net Assessed Value 29271	
	Land Use 0-00 Vacant - Commercial	Exemption Value New Construction 0	
	Cap Type OTHER	New Construction - Supp Value 0	
	Acreage 0.2400		
	Exemption Amount 0.00		

Role	Name	Address	Since	To
Owner	DEMIRJAN SHANE	1710 RAIDERS WAY UNIT 110 , HENDERSON, NV 89052 UNITED STATES	4/29/2025	Current

### Summary

Item	Amount
Taxes as Assessed	\$858.46
Less Cap Reduction	\$125.63
Net Taxes	\$732.83

### PAST AND CURRENT CHARGES DUE TODAY

Tax Year	Charge Category	Amount Due Today
<b>THERE IS NO PAST OR CURRENT AMOUNT DUE as of 4/3/2026</b>		<b>\$0.00</b>

### NEXT INSTALLMENT AMOUNTS

Tax Year	Charge Category	Installment Amount Due
<b>THERE IS NO NEXT INSTALLMENT AMOUNT DUE as of 4/3/2026</b>		

### TOTAL AMOUNTS DUE FOR ENTIRE TAX YEAR

Tax Year	Charge Category	Remaining Balance Due
<b>THERE IS NO TOTAL AMOUNT DUE FOR THE ENTIRE TAX YEAR as of 4/3/2026</b>		

### PAYMENT HISTORY

Last Payment Amount	\$183.21
Last Payment Date	2/17/2026
Fiscal Tax Year Payments	\$735.73
Prior Calendar Year Payments	\$722.16
Current Calendar Year Payments	\$183.21

# Property Account Inquiry - Summary Screen

## New Search

Parcel ID	161-27-212-007	Tax Year	2026	District	571	Rate	2.9328
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Situs Address:	0 UNASSIGNED SITUS WHITNEY
Legal Description:	ASSESSOR DESCRIPTION:CARTER BUNCH SUB PLAT BOOK 2 PAGE 74 LOT 12 BLOCK 1

Status:	Property Characteristics	Property Values	Property Documents
Active	Tax Cap Increase Pct. 8.0	Land 29271	2006072704714 7/27/2006
Taxable	Tax Cap Limit Amount 732.83	Total Assessed Value 29271	01400111317 7/2/1971
	Tax Cap Reduction 125.63	Net Assessed Value 29271	
	Land Use 0-00 Vacant - Commercial	Exemption Value New Construction 0	
	Cap Type OTHER	New Construction - Supp Value 0	
	Acreage 0.2400		
	Exemption Amount 0.00		

Role	Name	Address	Since	To
Owner	DEMIRJAN SHANE	1710 RAIDERS WAY UNIT 110 , HENDERSON, NV 89052 UNITED STATES	4/29/2025	Current

### Summary

Item	Amount
Taxes as Assessed	\$858.46
Less Cap Reduction	\$125.63
Net Taxes	\$732.83

### PAST AND CURRENT CHARGES DUE TODAY

Tax Year	Charge Category	Amount Due Today
<b>THERE IS NO PAST OR CURRENT AMOUNT DUE as of 4/3/2026</b>		\$0.00

### NEXT INSTALLMENT AMOUNTS

Tax Year	Charge Category	Installment Amount Due
<b>THERE IS NO NEXT INSTALLMENT AMOUNT DUE as of 4/3/2026</b>		

### TOTAL AMOUNTS DUE FOR ENTIRE TAX YEAR

Tax Year	Charge Category	Remaining Balance Due
<b>THERE IS NO TOTAL AMOUNT DUE FOR THE ENTIRE TAX YEAR as of 4/3/2026</b>		

### PAYMENT HISTORY

Last Payment Amount	\$183.21
Last Payment Date	2/17/2026
Fiscal Tax Year Payments	\$735.73
Prior Calendar Year Payments	\$722.16
Current Calendar Year Payments	\$183.21

# Property Account Inquiry - Summary Screen

## New Search

Parcel ID	161-27-212-008	Tax Year	2026	District	571	Rate	2.9328
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Situation Address:	0 UNASSIGNED SITUS WHITNEY
Legal Description:	ASSESSOR DESCRIPTION: CARTER BUNCH SUB PLAT BOOK 2 PAGE 74 LOT 13 BLOCK 1

Status:	Property Characteristics	Property Values	Property Documents
Active	Tax Cap Increase Pct. 8.0	Land 54886	2005123006023 12/30/2005
Taxable	Tax Cap Limit Amount 1374.11	Total Assessed Value 54886	2003013103404 1/31/2003
	Tax Cap Reduction 235.59	Net Assessed Value 54886	91110100118 11/1/1991
	Land Use 0-00 Vacant - Commercial	Exemption Value New Construction 0	
	Cap Type OTHER	New Construction - Supp Value 0	
	Acreage 0.4500		
	Exemption Amount 0.00		

Role	Name	Address	Since	To
Owner	DEMIRGIAN SHANE	1710 RAIDERS WAY UNIT 110 , HENDERSON, NV 89052 UNITED STATES	4/29/2025	Current

### Summary

Item	Amount
Taxes as Assessed	\$1,609.70
Less Cap Reduction	\$235.59
Net Taxes	\$1,374.11

### PAST AND CURRENT CHARGES DUE TODAY

Tax Year	Charge Category	Amount Due Today
<b>THERE IS NO PAST OR CURRENT AMOUNT DUE as of 4/3/2026</b>		<b>\$0.00</b>

### NEXT INSTALLMENT AMOUNTS

Tax Year	Charge Category	Installment Amount Due
<b>THERE IS NO NEXT INSTALLMENT AMOUNT DUE as of 4/3/2026</b>		

### TOTAL AMOUNTS DUE FOR ENTIRE TAX YEAR

Tax Year	Charge Category	Remaining Balance Due
<b>THERE IS NO TOTAL AMOUNT DUE FOR THE ENTIRE TAX YEAR as of 4/3/2026</b>		

### PAYMENT HISTORY

Last Payment Amount	\$343.53
Last Payment Date	2/17/2026
Fiscal Tax Year Payments	\$1,377.01
Prior Calendar Year Payments	\$1,351.56
Current Calendar Year Payments	\$343.53

# Property Account Inquiry - Summary Screen

## New Search

Parcel ID	161-27-311-001	Tax Year	2026	District	571	Rate	2.9328
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Sitius Address:	0 UNASSIGNED SITUS WHITNEY
Legal Description:	ASSESSOR DESCRIPTION: CARTER BUNCH SUB PLAT BOOK 2 PAGE 74 LOT 15 BLOCK 1

Status:	Property Characteristics	Property Values	Property Documents
Active	Tax Cap Increase Pct. 8.0	Land 56106	2006090800834 9/8/2006
Taxable	Tax Cap Limit Amount 1404.67	Total Assessed Value 56106	2006052300483 5/23/2006
	Tax Cap Reduction 240.81	Net Assessed Value 56106	2005102105048 10/21/2005
	Land Use 0-00 Vacant - Commercial	Exemption Value New Construction 0	88060100262 6/1/1988
	Cap Type OTHER	New Construction - Supp Value 0	
	Acreage 0.4600		
	Exemption Amount 0.00		

Role	Name	Address	Since	To
Owner	DEMIRJIAN SHANE	1710 RAIDERS WAY UNIT 110 , HENDERSON, NV 89052 UNITED STATES	4/29/2025	Current

### Summary

Item	Amount
Taxes as Assessed	\$1,645.48
Less Cap Reduction	\$240.81
Net Taxes	\$1,404.67

### PAST AND CURRENT CHARGES DUE TODAY

Tax Year	Charge Category	Amount Due Today
<b>THERE IS NO PAST OR CURRENT AMOUNT DUE as of 4/3/2026</b>		<b>\$0.00</b>

### NEXT INSTALLMENT AMOUNTS

Tax Year	Charge Category	Installment Amount Due
<b>THERE IS NO NEXT INSTALLMENT AMOUNT DUE as of 4/3/2026</b>		

### TOTAL AMOUNTS DUE FOR ENTIRE TAX YEAR

Tax Year	Charge Category	Remaining Balance Due
<b>THERE IS NO TOTAL AMOUNT DUE FOR THE ENTIRE TAX YEAR as of 4/3/2026</b>		

### PAYMENT HISTORY

Last Payment Amount	\$351.17
Last Payment Date	2/17/2026
Fiscal Tax Year Payments	\$8,195.79
Prior Calendar Year Payments	\$8,169.78
Current Calendar Year Payments	\$351.17